



**VILLAGE OF BARTLETT
ZONING BOARD OF APPEALS
AGENDA**

**BARTLETT MUNICIPAL CENTER
228 MAIN STREET
September 7, 2017**

7:00 P.M.

I. Roll Call

II. Approval of the August 3, 2017 meeting minutes

III. (#17-05) Balance Chiropractic

Variations:

- a) a 30 foot reduction from the required 50 foot front yard building setback,
- b) an 18 foot reduction from the required 50 foot front yard parking setback,
- c) a 10 foot reduction from the required 20 foot side yard (southern property line) building and parking setback,
- d) a 10 foot reduction from the required 20 foot side yard (northern property line) parking setback, and
- e) a 25 foot reduction from the required 30 foot rear yard parking setback

PUBLIC HEARING

IV. (#17-21) 1180 Lexington Drive

Variation:

To allow a six (6) foot high fence where a four (4) foot high fence is permitted in the corner side yard

PUBLIC HEARING

V. (#17-11) Rana Meal Solutions Plant 2

Variations:

- a) To allow an eight (8) foot high fence where a four (4) foot high fence is permitted in the front and corner side yards; and
- b) To reduce the number of required parking spaces (from 403 to 393)

PUBLIC HEARING

VI. (#17-17) 802 E. Devon Avenue Addition

Variation:

To reduce the number of required parking spaces (from 140 to 95)

PUBLIC HEARING

VII. (#17-16) Home Depot Outlot 2

Variations:

a) To reduce the required parking spaces for Lot 1 of the Home Depot Resubdivision from 450 to 399 spaces,

b) A 14'-6" reduction in the required 30 foot side yard building setback along the southern property line,

c) A 30 foot reduction from the required 30 foot side yard parking setback along the southeastern property line, and

d) A 9'-4" reduction in the required 40 foot rear yard building setback along the western property line.

PUBLIC HEARING

VIII. (#17-20) Zoning Ordinance Updates

Chapter 5 – OR Office/Research District and

Chapter 3 – Accessory Uses, Building and Structures

PUBLIC HEARING

IX. (#17-10) Zoning Ordinance Updates

Chapter 13 – Administration & Enforcement (Partial)

Chapter 9 – Planned Unit Development (Partial), and

Chapter 2 – Rules & Definitions (Partial)

Text Amendment

PUBLIC HEARING

X. Old Business/New Business

XI. Adjournment

**Village of Bartlett
Zoning Board of Appeals
Minutes**

August 3, 2017

M. Werden called the meeting to order at 7:02 pm.

Roll Call

Present: M. Werden, G. Koziol, B. Bucaro, L. Hanson, J. Rasmussen

Absent: J. Banno

Also Present: J. Plonczynski, CD Director, R. Grill, Assistant CD Director

Approval of Minutes

A motion was made to approve the minutes of the July 6, 2017 meeting.

Motioned by: G. Koziol

Seconded by: B. Bucaro

Roll Call

Ayes: M. Werden, G. Koziol, B. Bucaro, L. Hanson and J. Rasmussen

Nays: None

The motion carried.

**Case # 17-19 Bartlett High School Stadium Improvements
Variation – Side Yard
PUBLIC HEARING**

The following Exhibits were presented:

- Exhibit A - Picture of Sign**
- Exhibit B - Mail Affidavit**
- Exhibit C - Notification of Publication**
- Exhibit D – Forest Preserve District Letter**

William Templin was sworn in by **M. Werden**.

Petitioner **W. Templin** stated the School District as well as Bartlett High School has been working on this project off and on for the past 10 years. The project is broken into four phases.

Phase One - Is the home bleachers, detention basin, press box and stadium lighting.

Phase Two A - Concession building with surrounding hard surfaces.

Phase Two B - Pathway to the visitor's bleachers.

Phase Three - Addition to an existing metal building for teams to meet during half time.

Phase Four - Artificial turf on the football field.

W. Templin stated this is in order of preference. Phase One will be going to bid in the next month or two. A rendering of the concession building and the gateway into the stadium area were shown on the overhead projector. **W. Templin** stated initially the plans were to move the entire football field back 30 feet to allow for the visitors bleachers. Moving the football field and track would cost \$1,000,000 to \$1,500,000. By getting a variance for the side yard setback they can get the bleachers in without moving the field and track. **M. Werden** asked if there were many calls or comments regarding this project. **R. Grill** answered none. **M. Werden** stated in the letter from the Forest Preserve District that they were concerned with the impermeable surfaces and possibly water runoff. **R. Grill** stated later in the letter it states this would have very little impact on their property. **M. Werden** asked if there was any other discussion on this proposal. **B. Bucaro** questioned if water run off at the detention basin was for all phases. **W. Templin** stated yes this was for all phases including the artificial turf. **M. Werden** stated the drawings looked very impressive and asked how long the improvements would last, such as future expansion of the school, such as, would things need to be redone in the next 10 years. **W. Templin** stated no. **G. Koziol** stated he thinks this an exciting project for Bartlett High School and the whole community, it's been a long time coming. The students deserve their own stadium. **G. Koziol** questioned the press box and the lights being labeled as optional, if funds are available. **W. Templin** stated the lights will be added in the first phase, which are a priority over the press box, if the funds are available. **G. Koziol** asked if both items could be added at a later date if necessary. **W. Templin** stated yes, the foundation will be put in for the press box and all they would have to add would be the columns and platform. All of the underground work will be done. **G. Koziol** stated he would like to see the lights up in the first phase. **M. Werden** stated it was a very impressive design. **R. Grill** pointed out the area on the east property line for the variance that is to be voted on. The Petitioner is requesting a reduction in the 25 foot side yard setback to 10 feet. **M. Werden** asked if

there were any other questions from the Board. **L. Hanson** asked since the stadium is so close to the forest preserve, who would be responsible for the trash if it were to spill onto the forest preserve property. **W. Templin** stated after each game it would be the responsibility of the district to clean up the area including the other side of the 6 foot fence. **M. Werden** asked if there were any other questions from the Board. There was no response.

PUBLIC HEARING

Valerie Salmons who resides at 1179 Litchfield Lane stated she was delighted to see this project going forward. There has been extensive site analysis and they also met with South Elgin, being they just did a similar project. **V. Salmons** stated they had great insight and ideas. This stadium will generate a sense of community. This facility will not just be for football but for soccer and Lacrosse. There has been tremendous positive response from the community. Fundraisers have raised almost a million dollars, which is not enough to finish the project but a great start. **M. Werden** asked if there were any other members of the audience that would like to speak. No one came forward.

M. Werden also asked if there were any other questions from the board, or any motions.

G. Koziol made a motion to pass along a positive recommendation to the Village Board.

M. Werden stated there is a motion by **G. Koziol** to pass a positive recommendation for the reduction from 25 feet to 10 feet on the side yard.

Motioned: G. Koziol

Seconded: L. Hanson

M. Werden closed the Public Hearing portion of the meeting.

Roll Call

Ayes: M. Werden, G. Koziol, B. Bucaro, J. Rasmussen, L. Hanson

Nays: None

The motion carried.

Old Business/ New Business

R. Grill welcomed the newest member of the Zoning Board of Appeals, Jennifer Rasmussen.

R. Grill stated there will be a very large agenda next month.

M. Werden asked if there was a motion to adjourn.

Motioned by: G. Koziol

Seconded by: B. Bucaro

Motion Carried

The meeting was adjourned at 7:17 P.M.

COMMUNITY DEVELOPMENT MEMORANDUM
17-172

DATE: August 30, 2017
TO: The Chairman and Members of the Zoning Board of Appeals
FROM: Angela L Zubko, Community Development Planner
RE: **(#17-05) Balance Family Chiropractic**

PETITIONER

Julie Salyers, J & B Builders, Inc. on behalf of Balance Family Chiropractic

SUBJECT SITE

366-368 S. Main Street, about 0.1 mile north of Devon Avenue on the west side of Main Street

REQUESTS

Variations:

- a) a 30 foot reduction from the required 50 foot front yard building setback,
- b) an 18 foot reduction from the required 50 foot front yard parking setback,
- c) a 10 foot reduction from the required 20 foot side yard (southern property line) building and parking setback,
- d) a 10 foot reduction from the required 20 foot side yard (northern property line) parking setback, and
- e) a 25 foot reduction from the required 30 foot rear yard parking setback

EXISTING AND PROPOSED CONDITIONS

	<u>Land Use</u>	<u>Comprehensive Plan</u>	<u>Zoning</u>
Subject Site	Commercial	Commercial	B-3
North	Commercial	Commercial	B-3
South	Commercial	Commercial	B-3
East	Commercial	Commercial	B-3
West	Residential	Village Center Residential	SR-3

ZONING HISTORY

1. The existing building was built around 1987, (sometimes referred to as the Bormann building) and has had many uses over the years, including an animal hospital, advertising agency and tutoring center.

DISCUSSION

1. The Petitioner is requesting a Site Plan Review to demolish the existing two-story building located at 366-368 S. Main Street to construct a new 6,152 square foot building consisting of a chiropractic office (4,285 sq. feet) on the first floor and two residential apartments (1,867 sq. feet) on both the first and second floors toward the back of the building. *(The Site Plan Review will be discussed by the Plan Commission at their meeting on September 14, 2017)*
2. The proposed building will have a prairie style look and be constructed of materials similar to neighboring residential properties with HardiPlank siding and a stone veneer along the bottom of the building. The height of the building would be 26'-2" at the corners of the building with a median height of 23'-5", meeting the Zoning Code.
3. The Petitioner is also requesting the following **Variations**:
 - a) a 30 foot reduction from the required 50 foot front yard building setback,
 - b) an 18 foot reduction from the required 50 foot front yard parking setback,
 - c) a 10 foot reduction from the required 20 foot side yard (southern property line) building and parking setback,
 - d) a 10 foot reduction from the required 20 foot side yard (northern property line) parking setback, and
 - e) a 25 foot reduction from the required 30 foot rear yard parking setback

(Staff was unable to locate any previous variation requests for the existing site.)
4. Currently the property has a curb cut in the middle of the site along Main Street and one shared access drive along the north property line. There is a recorded cross-access easement agreement shared between this property and the property to the north. The petitioner proposes to eliminate the curb cut in the middle of the site along Main Street and utilize the curb cut to the north for all traffic. Eliminating curb cuts along Main Street is also a recommendation from the Downtown Transit Oriented Development (TOD) Plan.
5. The Petitioner has shown a cross-access easement on the west side (rear) of

- the lot to connect the parking lot to the property to the south when/if it develops.
6. The Petitioner proposes to have 25 parking stalls including 1 handicapped parking stall. This exceeds the parking requirement of 23 parking stalls.
 7. The Petitioner also proposed to install a bike rack which is a recommendation from the Downtown TOD Plan.
 8. The Petitioner proposes to add a trash enclosure west of the building in the existing parking lot. The previous owners/tenants shared the trash enclosure located on the Main Street Plaza shopping center lot directly to the north of the proposed trash enclosure.
 9. The Downtown TOD Plan included planning strategies for the revitalization of older properties in the Downtown that would enhance the visual appeal along the Main Street Corridor. This project accomplishes that objective not only with the updated architecture of the building but also by bringing the building closer to the street frontage, locating a majority of the parking to the rear of the building, adding a bike rack and eliminating a curb cut.
 10. The Petitioner has been operating out of a tenant space at Westgate Commons since 2006. If approved, the petitioner will be relocating to this new building.
 11. Engineering and Landscape plans are currently being reviewed by the Staff.

RECOMMENDATION

According to the provisions of the Zoning Ordinance, the Zoning Board of Appeals should render a decision based upon the following:

- A. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.
- B. That conditions upon which the petition for variations are based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.
- C. That the purpose of the variations are not based exclusively upon a desire to make money out of the property.
- D. That the alleged difficulty or hardship is caused by the provision of this Title and

has not been created by any person presently having an interest in the property.

- E. That the granting of the variations will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.
- F. That the proposed variations will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.
- G. That the granting of the variances requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

Variations shall be recommended only if the evidence, in the judgment of the Board of Appeals, sustains all the conditions enumerated above.

Background information is attached for your review and consideration.

alz/attachments

X:\Comdev\mem2017\172_Balance Family Chiropractic_zba.doc



2000 W. Main Street, Unit H
St. Charles, IL 60174
630.587.9900 630.587.8566 fax
www.jbbuilders.com

March 27, 2017

TO: Mr. Kevin Wallace, Village of Bartlett President
Ms. T.L. Arends, Village of Bartlett Trustee
Mr. Michael E. Camerer, Village of Bartlett Trustee
Mr. Vince Carbonaro, Village of Bartlett Trustee
Mr. Raymond H. Deyne, Village of Bartlett Trustee
Mr. Adam J. Hopkins, Village of Bartlett Trustee
Mr. Aaron H. Reinke, Village of Bartlett Trustee

RE: 366 – 368 S. Main Street
Bartlett, IL

Dear Mr. Wallace and Village Trustees:

This letter is in reference to the proposed redevelopment of the property located at 366 – 368 S. Main Street.

The existing property is located on S. Main Street approximately 0.1 miles north of Devon Avenue. The current property is zoned B-3, Neighborhood Shopping District. An existing two story commercial brick building currently is located on the property.

We are proposing to redevelop the property including the demolition of the existing building and the construction of a new building for Balance Family Chiropractic. The new building would contain office space as well as two residential, one bedroom apartments. Balance Family Chiropractic has been in Bartlett since 2006 and will relocate to the new space.

Sincerely,
J&B BUILDERS, INC.

A handwritten signature in black ink, appearing to read 'Julie R. Salyers', is written over the typed name.

Julie R. Salyers, P.E.
President



VILLAGE OF BARTLETT DEVELOPMENT APPLICATION

Revised (p. 1)

For Office Use Only
Case # <u>17-05</u>
RECEIVED
COMMUNITY DEVELOPMENT
FEB 16 2017
VILLAGE OF BARTLETT

PROJECT NAME Balance Family Chiropractic

PETITIONER INFORMATION (PRIMARY CONTACT)

Name: Julie Salyers, J&B Builders, Inc.

Street Address: 2000 West Main Street, Unit H

City, State: St. Charles, IL

Zip Code: 60174

Email Address: julie@jbbuilders.com

Phone Number: 630-587-9900

Preferred Method to be contacted: Email

PROPERTY OWNER INFORMATION

Name: Dr. Robin Ackerman

Street Address: 776 W. Bartlett Road

City, State: Bartlett, IL

Zip Code: 60103

Phone Number: 630-837-3707

OWNER'S SIGNATURE: _____ **Date:** _____
(OWNER'S SIGNATURE IS REQUIRED or A LETTER AUTHORIZING THE PETITION SUBMITTAL.)

ACTION REQUESTED (Please check all that apply)

- | | |
|--|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Text Amendment |
| <input type="checkbox"/> PUD (preliminary) | <input type="checkbox"/> Rezoning See Dropdown to See Dropdown |
| <input type="checkbox"/> PUD (final) | <input type="checkbox"/> Special Use for: _____ |
| <input type="checkbox"/> Subdivision (preliminary) | <input checked="" type="checkbox"/> Variation: <u>Building & Parking Set Backs</u> |
| <input type="checkbox"/> Subdivision (final) | |
| <input checked="" type="checkbox"/> Site Plan (please describe use: commercial, industrial, square footage): _____
Commercial, Chiropractic Office (4285 sf) and 2 Residential Apartments (1867 sf) | |
| <input type="checkbox"/> Unified Business Center Sign Plan | |
| <input type="checkbox"/> Other (please describe) _____ | |

SIGN PLAN REQUIRED? No

(Note: A Unified Business Center Sign Plan is required for four or more individual offices or businesses sharing a common building entrance or private parking lot.)

PROPERTY INFORMATION

Common Address/General Location of Property: 366-368 Main Street / S. Main St & E. Devon Ave

Property Index Number ("Tax PIN"/"Parcel ID"): 06-34-414-070-0000

Zoning: Existing: B-3 **Land Use:** Existing: Commercial
(Refer to Official Zoning Map)

Proposed: B-3 Proposed: Commercial

Comprehensive Plan Designation for this Property: Commercial
(Refer to Future Land Use Map)

Acreage: 0.47 acres

For PUD's and Subdivisions:

No. of Lots/Units: _____
Minimum Lot: Area _____ Width _____ Depth _____
Average Lot: Area _____ Width _____ Depth _____

APPLICANT'S EXPERTS (If applicable, including name, address, phone and email)

Attorney _____

Engineer Silver Edge Consultants LLC
215 Fulton Street
Geneva, IL 60134

Other 222 Architects
222 South Morgan Street, Suite 4B
Chicago, IL 60607

FINDINGS OF FACT (Standards)

The Village of Bartlett Zoning Ordinance requires that certain findings of fact, or standards, must be met before a special use permit, variation, site plan or planned unit development may be granted. Each application for a hearing before the Plan Commission or Zoning Board of Appeals for a special use, variation, site plan or planned unit development must address the required findings of fact for each particular request. The petitioner should be aware that he or she must present specific testimony at the hearing with regards to the findings. **(On the following pages are the findings of fact, or standards, to be met. Please respond to each standard, in writing, as it relates to the case.)**

****PLEASE FILL OUT THE FOLLOWING FINDINGS OF FACT AS THEY RELATE TO YOUR PETITION****

Findings of Fact for **Site Plans**: Pages 4-5

Findings of Fact for **Planned Unit Developments**: Pages 6-9

Findings of Fact for **Special Uses**: Page 10

Findings of Fact for **Variations**: Pages 11-12

FINDINGS OF FACT FOR SITE PLANS

Both the Plan Commission and Village Board must decide if the requested Site Plan meets the standards established by the Village of Bartlett Zoning Ordinance.

The Plan Commission shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Plan Commission and Village Board to review.)**

1. The proposed use is a permitted use in the district in which the property is located.

The proposed commercial office space and two residential apartments are a permitted use in a Commercial district.

2. The proposed arrangement of buildings, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses.

The proposed building arrangement, off-street parking, access and drainage is compatible with other commercial buildings in particular the CVS Pharmacy.
Lighting and landscaping will be compatible with the CVS Pharmacy.

3. The vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

The proposed access location was located based on the current Easement Agreement (Doc 061315132) with the adjacent property Owner. The location will provide efficient and convenient movement of traffic for the site.

4. The site plan provides for the safe movement of pedestrians within the site.

The site plan includes sidewalks to provide safe movement of pedestrians from the parking lot areas to the building.

5. There is sufficient mixture of grass, trees and shrubs within the interior and perimeter (including public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses and will provide a pleasing appearance to the public. Any part of the site plan area not used for buildings, structures, parking or accessways shall be landscaped with a mixture of grass, trees and shrubs. (All landscape improvements shall be in compliance with Chapter 10-11A, Landscape Requirements)

The proposed landscaping will provide a mixture of grass and various shrub varieties as well as a magnitude of perennial plants to provide an overall pleasing landscape with various colors and textures that is in compliance with the Landscape Requirements.

6. All outdoor storage areas are screened and are in accordance with standards specified by this Ordinance.

The proposed site includes a dumpster location that will be designed in accordance with the standards specified in the ordinance and will be screened with walls and enclosure gates that will utilize similar materials and colors as the proposed building.

FINDINGS OF FACT FOR VARIATIONS

Both the Zoning Board of Appeals and the Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Zoning Ordinance and if there is a practical difficulty or hardship in carrying out the strict letter of the regulations of the Zoning Ordinance.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the ZBA and Village Board to review.)**

1. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

The existing building layout is not cohesive to the intended use of the Owner. The overall shape and limited size of the building envelope with the properties current setbacks, do not allow for an adequate footprint (for building and parking) that is needed to make redevelopment feasible.

2. That conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.

The variations requested for this vacant downtown property would be necessary to make it feasible to develop the property. The redevelopment would be in accordance with the development strategies outlined in the recently adopted "Downtown TOD Plan".

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

Without the variation, redevelopment of the property is not possible for the Owners intended use. The redeveloped site and building would be more in line with the "Downtown TOD Plan".

4. That the alleged difficulty or hardship is caused by the provisions of this Title and has not been created by any person presently having an interest in the property.

The Owner has not created the difficulties associated with this property. The difficulties and hardships are similar to many of the other properties in the downtown area.

5. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.

Variations will allow redevelopment, which will enhance public welfare, adjacent property Owners and the neighborhood.

6. That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.

Adjacent properties will not be negatively affected and should be allowed similar setbacks to enhance their redevelopment potential. Congestions and/or public safety will not be negatively affected.

7. That the granting of the variance requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.


The requested variances will not provide any special privileges. Adjacent properties should enjoy similar setbacks, which will encourage redevelopment and is in line with the "Downtown TOD Plan".

ACKNOWLEDGEMENT

I understand that by signing this form, that the property in question may be visited by village staff and Board/Commission members throughout the petition process and that the petitioner listed above will be the primary contact for all correspondence issued by the village.

I certify that the information and exhibits submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the above signatures.

Any late, incomplete or non-conforming application submittal will not be processed until ALL materials and fees have been submitted.

SIGNATURE OF PETITIONER: 
PRINT NAME: Julie Salviers
DATE: 2/15/17

REIMBURSEMENT OF CONSULTANT FEES AGREEMENT


The undersigned hereby acknowledges his/her obligation to reimburse the Village of Bartlett for all necessary and reasonable expenses incurred by the Village for review and processing of the application. Further, the undersigned acknowledges that he/she understands that these expenses will be billed on an ongoing basis as they are incurred and will be due within thirty days. All reviews of the petition will be discontinued if the expenses have not been paid within that period. Such expenses may include, but are not limited to: attorney's fees, engineer fees, public advertising expenses, and recording fees. Please complete the information below and sign.

NAME OF PERSON TO BE BILLED: J&B Builders, Inc.

ADDRESS: 2000 W. Main Street, Unit H
St. Charles, IL 60174

PHONE NUMBER: 630-587-9900

EMAIL: julie@jbbuilders.com

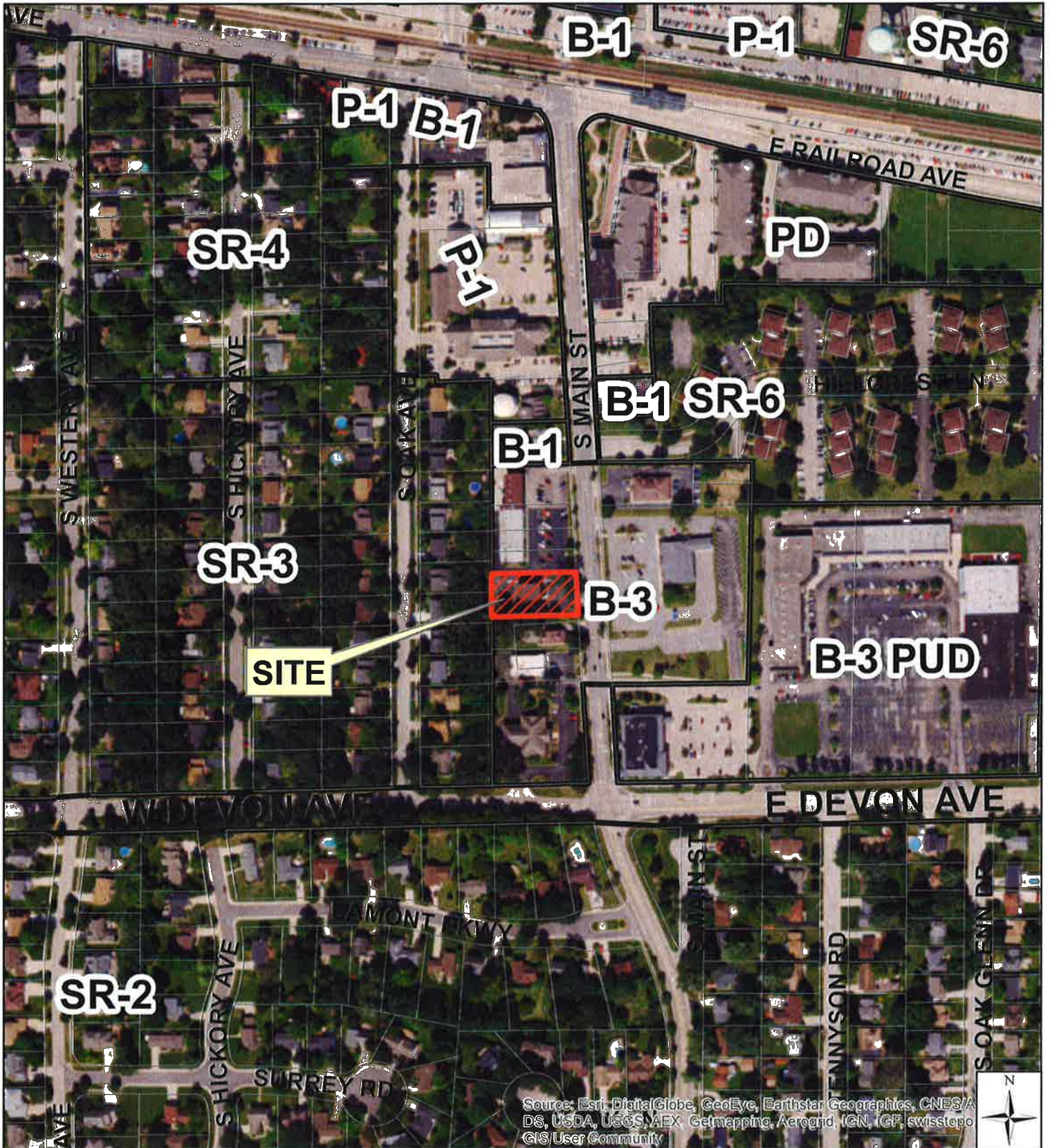
SIGNATURE: 
DATE: 2/15/17

ZONING/LOCATION MAP

Balance Family Chiropractic

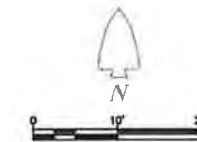
Case #17-05

Site Plan Review & Variations



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AEX, Getmapping, Aerogrid, IGN, IGP, swisstopo, GIS/User Community

MAIN STREET PLAZA



LEGEND

	BOUNDARY LINE
	EASEMENT LINE
	PARKING / BUILDING SETBACK LINE
	EXISTING FENCE
	PROPOSED SIGN
	TRAFFIC FLOW ARROW

PARKING SUMMARY

24	REGULAR SPACES
1	HANDICAPPED SPACES
25	TOTAL SPACES PROVIDED
19	REQUIRED COMMERCIAL SPACES
3	REQUIRED RESIDENTIAL SPACES

FLOOR AREA RATIO

Floor Area Ratio = Building Floor Area / Lot Size
Floor Area Ratio = 8152 / 20473.20 = 0.3

TOTAL SITE AREA: 0.47 AC.

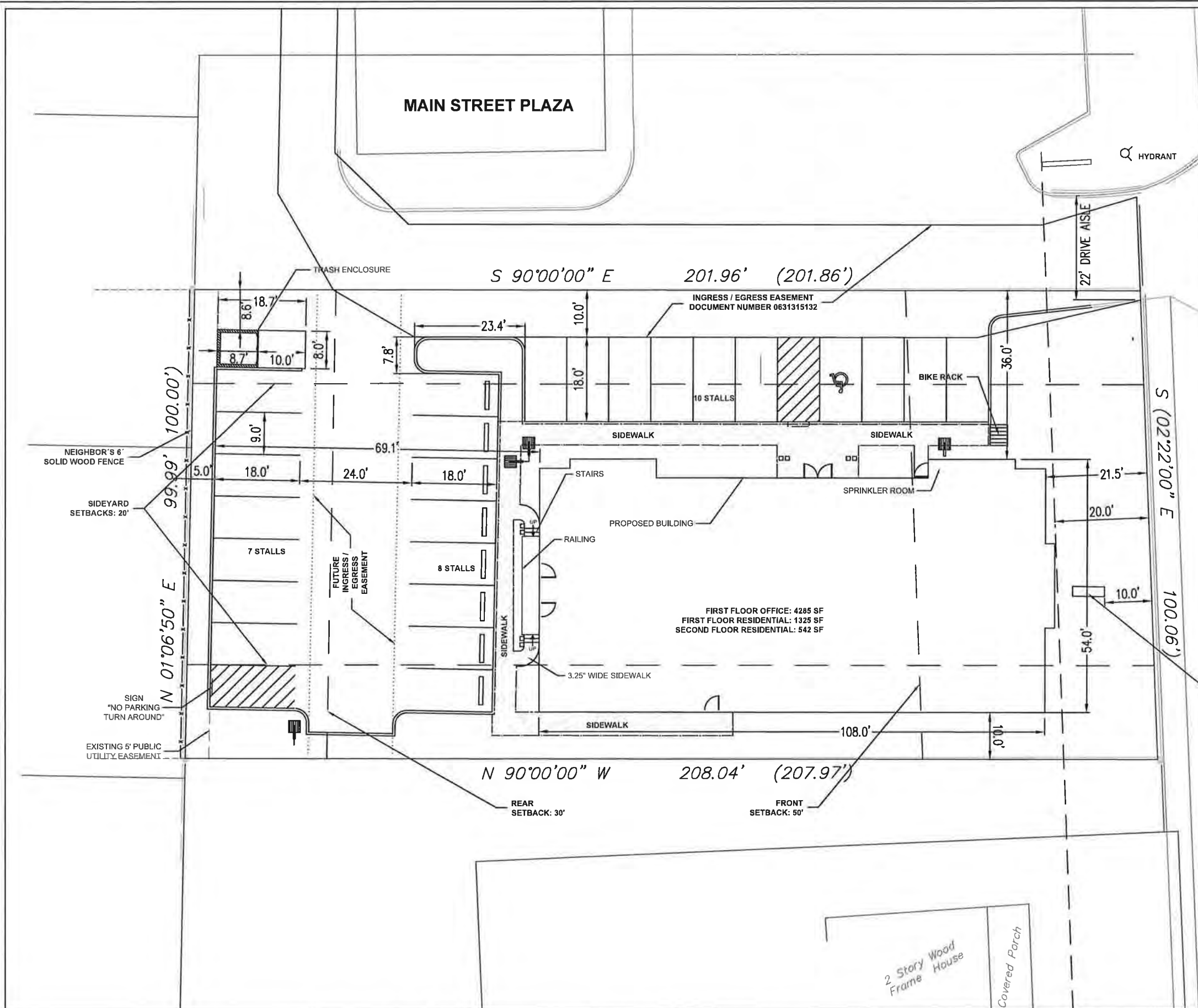
LOCATION MAP



MONUMENT SIGN

SITE LOCATION

SITE PLAN



PREPARED FOR:
J & B BUILDERS, INC.
 2000 WEST MAIN STREET
 ST CHARLES, IL 60174
 (630) 587-9000

PREPARED BY:
SILVER EDGE CONSULTANTS LLC
 215 FULTON STREET
 GENEVA, ILLINOIS 60134
 (630) 800-4801
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NUMBER	DATE	DESCRIPTION	REVISIONS	NUMBER	DATE	DESCRIPTION
1	05/14/2017	For Village Review #1 comments				
2	08/14/2017	For Village Review Comments				

BALANCE FAMILY CHIROPRACTIC - SITE PLAN			
366 SOUTH MAIN STREET, BARTLETT, ILLINOIS			
FILE NAME: BALANCE CHIROPRACTIC	DESIGN BY: JBS	JOB NO.: 138 001	DATE: 08/22/17
DIRECTORY:	DRAWN BY: JPC	SCALE: P=NS	SHEET 4 OF 12



Balance Family Chiropractic

366 MAIN STREET
 BARTLETT, IL 60103

ISSUE INFORMATION

REV 2	2017-08-10
REV 1	2017-03-23
NO. ISSUED FOR:	DATE:

PROFESSIONAL SEAL

ELEVATIONS

DRAWN BY: MW CHECKED BY: TJS
 DATE: 2017-02-07 PROJ NO: 16041

A-2

NOTE:
 THERE WILL BE NO ROOFTOP MECHANICAL
 EQUIPMENT INSTALLED ON THE BUILDING.

T/ROOF (H.P.)
 EL 28'-9 1/2"
 T/ROOF (AVG.)
 EL 23'-11 3/4"
 SECOND FLOOR
 EL 11'-7 1/4"
 FIRST FLOOR
 EL 0'-0"



SOUTH ELEVATION
 SCALE: 3/16" = 1'-0"

ARCHITECTURAL SHINGLES
 GAF Timberline Natural Shadow
 "Weathered Wood"
 WOOD TRIM / BRACKETS
 FIBER CEMENT SIDING
 HardPlank "Navajo Beige"
 ALUM CLAD WOOD WINDOWS
 Pella Pro-line Casement
 FIBER CEMENT SIDING
 HardPlank "Mountain Sage"
 STONE VENEER
 BORAL Southern LedgeStone
 "Bucks County"



EAST ELEVATION (FACING MAIN STREET)
 SCALE: 3/16" = 1'-0"

T/ROOF (H.P.)
 EL 28'-9 1/2"
 T/ROOF (AVG.)
 EL 23'-11 3/4"
 SECOND FLOOR
 EL 11'-7 1/4"
 FIRST FLOOR
 EL 0'-0"



WEST ELEVATION
 SCALE: 3/16" = 1'-0"

T/ROOF (H.P.)
 EL 28'-9 1/2"
 T/ROOF (AVG.)
 EL 23'-11 3/4"
 SECOND FLOOR
 EL 11'-7 1/4"
 FIRST FLOOR
 EL 0'-0"



NORTH ELEVATION
 SCALE: 3/16" = 1'-0"



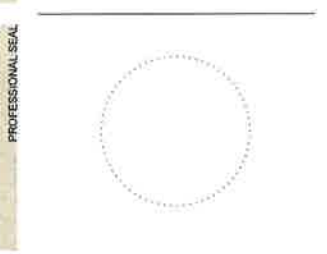
Balance Family Chiropractic

366 MAIN STREET
 BARTLETT, IL 60103

ISSUE INFORMATION

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NO. ISSUED FOR: _____ DATE: _____

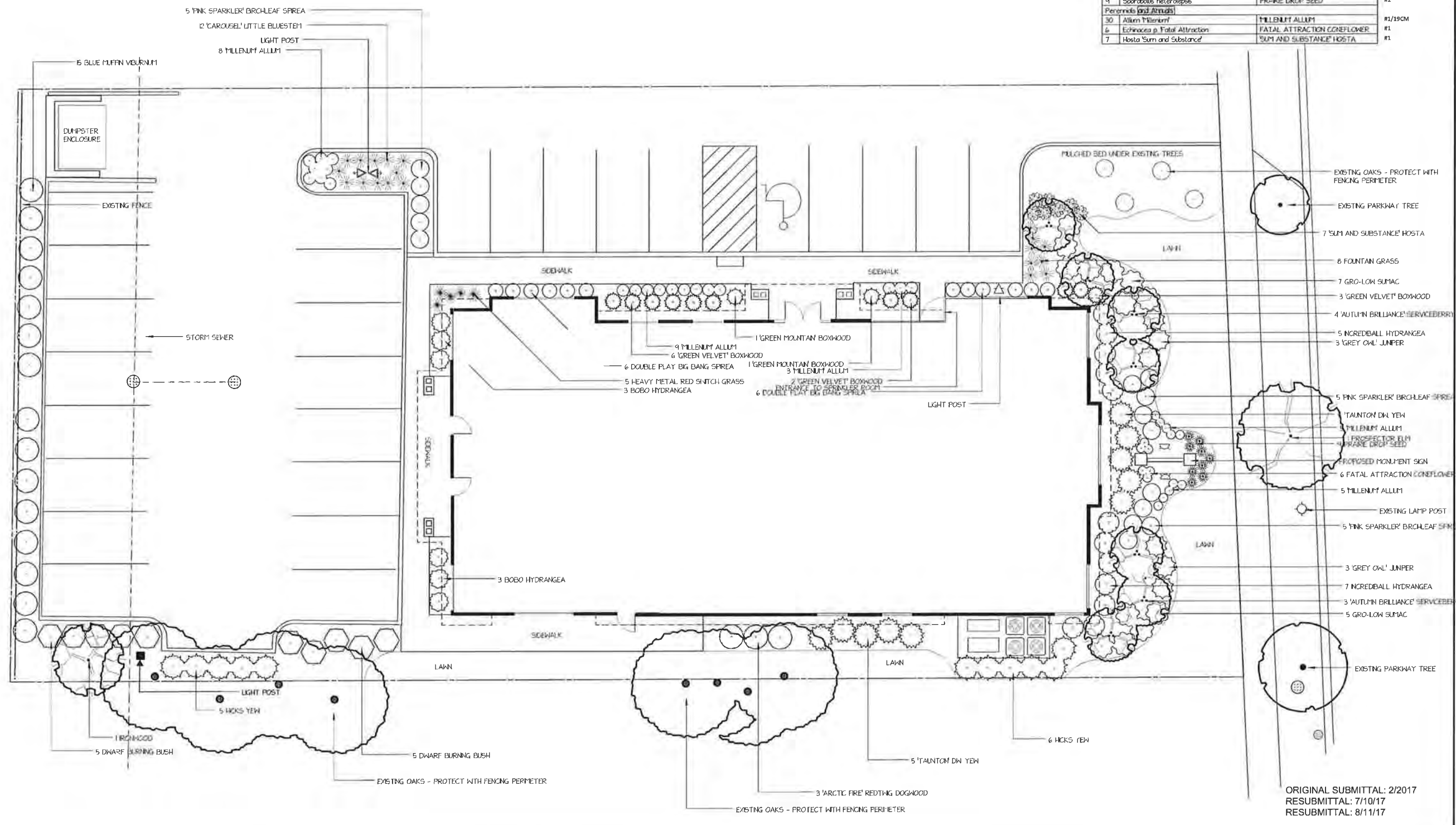


SHEET TITLE
3D MODEL VIEWS

DATA
 DRAWN BY: MW CHECKED BY: TJS
 DATE: 2017-02-07 PROJ. NO: 16041

SQUARE FOOTAGE NOTES
 TOTAL PARKING LOT/SIDEWALK: 1020 SF
 BUILDING: 5500 SF
 GREEN SPACE/LANDSCAPE BEDS: 4850 SF
 (235 PCT OPEN SPACE)
 TOTAL LOT: 20627 SF
 THESE NUMBERS ARE APPROXIMATE

Qty	Botanical Name	Common Name	SIZE
7	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	'AUTUMN BRILLIANCE' SERVICEBERRY	1.75" DIA
1	<i>Ostrya virginiana</i>	ROANWOOD (AFRICAN HORNBLEAT)	2" DIA
1	<i>Ulmus ulsoniana</i> 'Prospector'	PROSPECTOR ELM	
Shrubs			
1	<i>Buxus</i> 'Green Velvet'	'GREEN VELVET' BOXWOOD	#5
2	<i>Buxus</i> x 'Green Mountain'	'GREEN MOUNTAIN' BOXWOOD	#5
3	<i>Cornus</i> 'Arctic Fire'	'ARCTIC FIRE' REDTING DOGWOOD	#5
10	<i>Eonymus alatus</i> 'Compactus'	DWARF BURNING BUSH	#5
12	<i>Hydrangea arborescens</i> 'Abelwo'	NCREDBALL HYDRANGEA	#5
6	<i>Hydrangea paniculata</i> 'Bobo'	BOBO HYDRANGEA	#3
6	<i>Juniperus virginiana</i> 'Grey Owl'	'GREY OWL' JUNPER	#3
12	<i>Rhus aromatica</i> 'Grau-hai'	GRO-LOW SUMAC	#3
12	<i>Spiraea japonica</i> 'Tracy'	DOUBLE PLAY BIG BANG SPIREA	#3
5	<i>Spiraea betulifolia</i> 'Pink Sparkler'	PINK SPARKLER' BRCHLEAF SPIREA	#2
1	<i>Taxus x media</i> 'Hickel'	HICKS YEW	#2
10	<i>Taxus x media</i> 'Tauntori'	'TAUNTON DN. YEW	24"W
5	<i>Verbenum dentatum</i> 'Blue Muffin'	BLUE MUFFIN VERBENUM	#5
Ornamental Grasses			
5	<i>Panicum virgatum</i> 'Heavy Metal'	HEAVY METAL RED SWITCH GRASS	#5
8	<i>Pennisetum alapearoides</i>	FOUNTAIN GRASS	#1
12	<i>Schizachyrium scoparium</i> 'Carousel'	'CAROUSEL' LITTLE BLUESTEM	#1
9	<i>Sorghobus heterolepis</i>	PRAIRIE DROP SEED	#1
Perennials and Annuals			
30	<i>Allium 'Millenium'</i>	'MILLENNIUM' ALLIUM	#1/19CM
6	<i>Echinacea p. 'Fatal Attraction'</i>	FATAL ATTRACTION CONEFLOWER	#1
7	<i>Hosta 'Sum and Substance'</i>	SUM AND SUBSTANCE' HOSTA	#1





41W181 Route 64
St. Charles, IL 60175

630.584.4424
630.584.4469 fax

www.wascounursery.com
Illinois Certified Nursery Professionals



NORTH

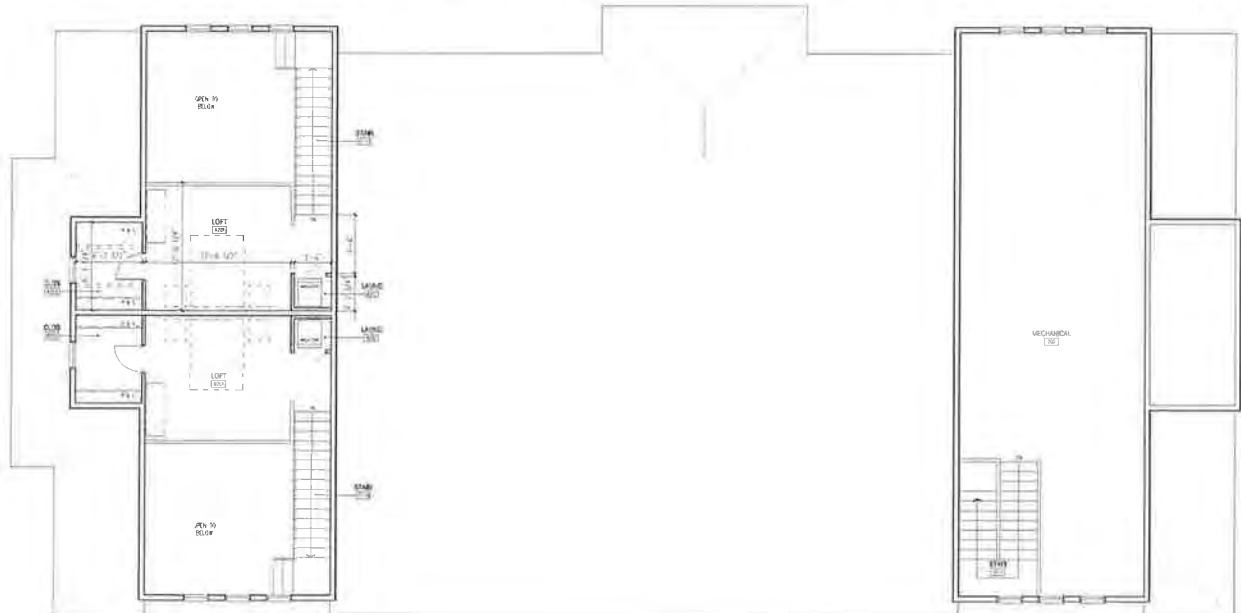
Designed By:
 Meghan Provencher, LCN
 St. Landscape Designer
 630-463-4946
 design@wascounursery.com



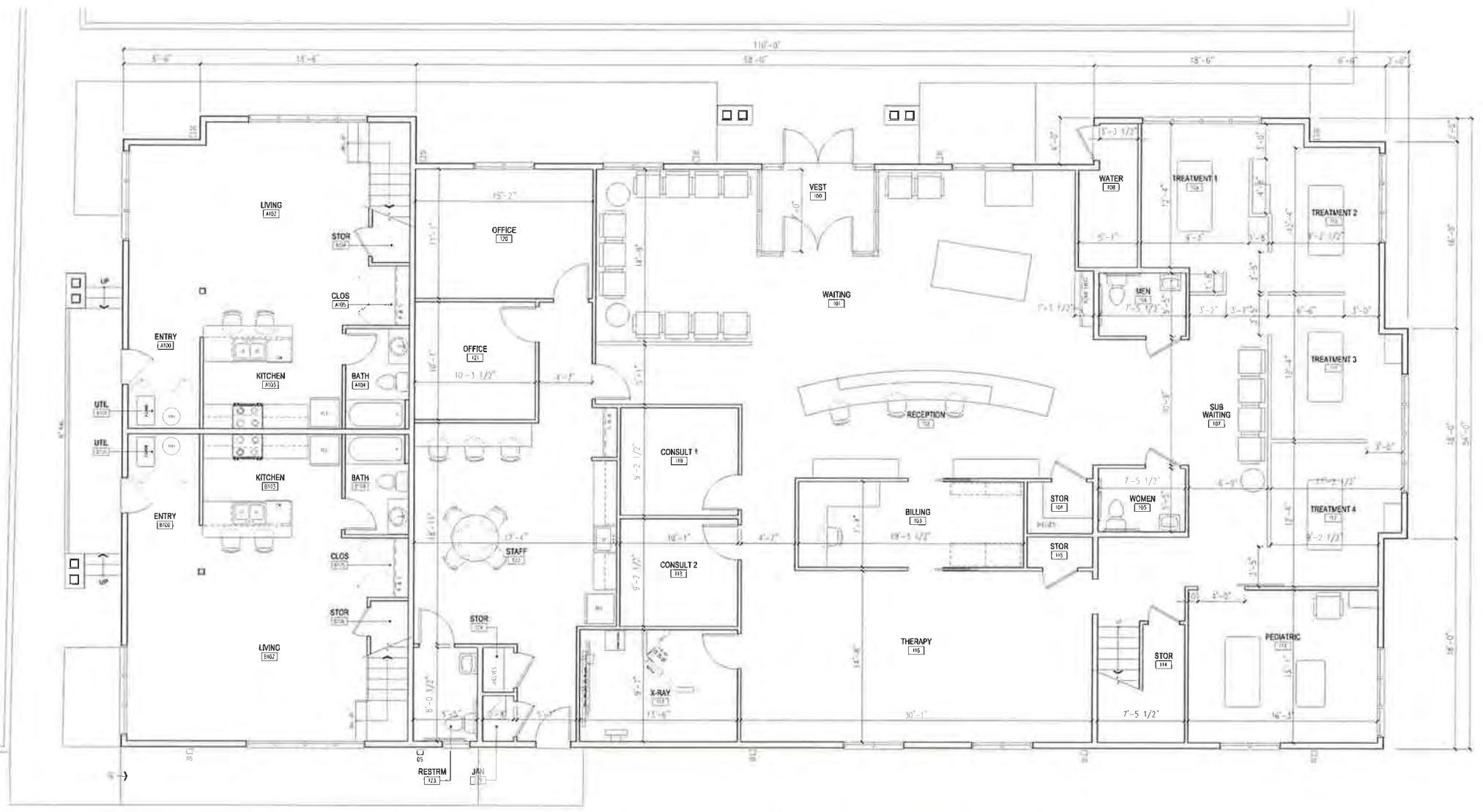
Balance Family Chiropractic
 366 South Main Street - Bartlett
 SCALE: 1" = 8'
 DATE: February 2017
 SHEETS: 1 of 1

ORIGINAL SUBMITTAL: 2/2017
 RESUBMITTAL: 7/10/17
 RESUBMITTAL: 8/11/17

LANDSCAPE PLAN



BUILDING AREA	
FIRST FLOOR OFFICE:	4285 sf
FIRST FLOOR RESIDENTIAL:	1325 sf
LOFT LEVEL RESIDENTIAL:	542 sf
TOTAL AREA:	6152 sf



Balance Family Chiropractic

366 MAIN STREET
 BARTLETT, IL 60103

ISSUE INFORMATION

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△	REV 2	2017-06-10
△	REV 1	2017-03-23
NO.	ISSUED FOR:	DATE:

PROFESSIONAL SEAL

FLOOR PLANS

DRAWN BY: MW CHECKED BY: TJS
 DATE: 2017-02-07 PROJ. NO: 16041

A-1

COMMUNITY DEVELOPMENT MEMORANDUM
17-167

DATE: August 30, 2017
TO: The Chairman and Members of the Zoning Board of Appeals
FROM: Angela L Zubko, Community Development Planner
RE: **(#17-21) 1180 Lexington Drive**

PETITIONER

Shahbaz Hashmi

SUBJECT SITE

1180 Lexington Drive, Kenroy's Apple Orchard Subdivision No. 6, Unit 1

REQUEST

Variation – 6 foot high fence where a 4 foot high fence is permitted.

DISCUSSION

1. The subject property is zoned SR-4 (Suburban Residence- Single Family). This property is considered a triple frontage lot with three property lines abutting a right-of-way: Lexington Drive to the east, Struckman Boulevard to the north and IL Route 59 to the west. Route 59 and Lexington Drive are considered front yards.
2. The Petitioner is requesting a 2' variation to allow a 6 foot high solid vinyl fence in a corner side yard (north property line- Struckman Blvd.) and rear/front yard (west property line- Route 59).
3. The fence would be located 15'-9" south of the north property line along Struckman Blvd. to avoid a 15 foot wide storm sewer easement as requested by Staff and to avoid a large tree located within the corner side yard (see attached photos).
4. The Petitioner has stated the landscaping along Struckman will remain in place.
5. Currently an IDOT sound wall is located along a majority of the right-of-way adjacent to the rear property line and the Petitioner would like to fence in the remaining portion of open area along Route 59 to block noise (see attached photos).

6. If the variation were approved, a building permit could be issued for the proposed fence.
7. Attached for reference is a map showing other existing fences along Struckman Boulevard.

RECOMMENDATION

According to the provisions of the Zoning Ordinance, the Zoning Board of Appeals should render a decision based upon the following:

- A. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.
- B. That conditions upon which the petition for variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.
- C. That the purpose of the variation is not based exclusively upon a desire to make money out of the property.
- D. That the alleged difficulty or hardship is caused by the provision of this Title and has not been created by any person presently having an interest in the property.
- E. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.
- F. That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.
- G. That the granting of the variance requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

A variation shall be recommended only if the evidence, in the judgment of the Board of Appeals, sustains all the conditions enumerated above.

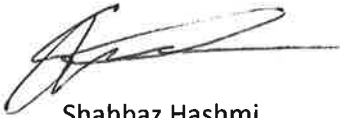
Background information is attached for your review.

August 8, 2017

Dear President Wallace and Board of Trustees,

My name is Shahbaz Hashmi and my wife Mehreen Hashmi are the owners of 1180 Lexington Drive. My family and I are requesting a variation from the Village of Bartlett in regards to **9-16-2: HEIGHT LIMITATIONS**. We are asking to be able to extend the distance off the house by 9ft to put up a 6ft privacy fence. The current regulation for corner houses would allow us to do 6ft from the end of the home straight back or 4ft all the way around the property line. We are requesting the variation because our backyard faces Route 59, and the sound wall doesn't go passed our home. We are also seeking the ability to with such a busy street behind 6ft would better secure our yard, damper street noise, and give or home privacy.

Regards,

A handwritten signature in black ink, appearing to read 'Shahbaz Hashmi', written in a cursive style.

Shahbaz Hashmi



VILLAGE OF BARTLETT VARIATION APPLICATION

For Office Use Only
Case # 17-21
RECEIVED
COMMUNITY DEVELOPMENT
AUG 08 2017

VILLAGE OF
BARTLETT

PETITIONER INFORMATION (PRIMARY CONTACT)

Name: Shahbaz Hashmi

Street Address: 1180 Lexington Drive

City, State: Bartlett, IL

Zip Code: 60103

Email Address: hashmi16@gmail.com

Phone Number: 847-630-3804

Preferred Method to be contacted See Dropdown

PROPERTY OWNER INFORMATION

Name: Shahbaz & Mehreen Hashmi

Street Address: 1180 Lexington Drive

City, State: Bartlett, IL

Zip Code: 60103

Phone Number: 847-630-3804

OWNER'S SIGNATURE:  Date: 08/07/2017

(OWNER'S SIGNATURE IS REQUIRED or A LETTER AUTHORIZING THE PETITION SUBMITTAL.)

DESCRIPTION OF VARIATION REQUEST (i.e. setback, fence height) including SIZE OF REQUEST (i.e. 5ft., 10 ft.)

Requesting to get a variance for a 6ft fence extended 9ft from our home to the sewer easment

PROPERTY INFORMATION

Common Address/General Location of Property: 1180 Lexington Drive

Property Index Number ("Tax PIN"/"Parcel ID"): 010940701

Acreage: 0.26

Zoning: See Dropdown (Refer to Official Zoning Map)

APPLICANT'S EXPERTS (If applicable, including name, address, phone and email)

Attorney 

Surveyor _____

Other _____

FINDINGS OF FACT FOR VARIATIONS

Both the Zoning Board of Appeals and the Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Zoning Ordinance and if there is a practical difficulty or hardship in carrying out the strict letter of the regulations of the Zoning Ordinance.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the ZBA and Village Board to review.)**

- 1. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

Our house sits at the corner of route 59 and Struckman Blvd with our back yard currently exposed. There is a sound wall, but it doesn't extend to the end of the property line. The current regulation 9-16-2 allows for us as the owners to put a 4ft fence to the edge of the property line, but being on such a busy corner it will not provide any privacy or damper sound. We are requesting to have a 6ft privacy extended 9ft off the end of the home to the sewer easement line. This will still leave about 15.5ft of side yard, but allow us to keep our privacy and keep part our yard size.

- 2. That conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.

The variation we are requesting is unique to our home

- 3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

This variation is to help provide us with a secure and private backyard, without losing close to 25ft of yard, and also allows us to keep as much yard fenced in as possible. Also the fence will provide the ability to help damper street noise from route 59

ACKNOWLEDGEMENT

I understand that by signing this form, that the property in question may be visited by village staff and Board/Commission members throughout the petition process and that the petitioner listed above will be the primary contact for all correspondence issued by the village.

I certify that the information and exhibits submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the above signatures.

Any late, incomplete or non-conforming application submittal will not be processed until ALL materials and fees have been submitted.

SIGNATURE OF PETITIONER:  _____

PRINT NAME: Shahbaz Hashmi

DATE: 08/07/2017

REIMBURSEMENT OF CONSULTANT FEES AGREEMENT

The undersigned hereby acknowledges his/her obligation to reimburse the Village of Bartlett for all necessary and reasonable expenses incurred by the Village for review and processing of the application. Further, the undersigned acknowledges that he/she understands that these expenses will be billed on an ongoing basis as they are incurred and will be due within thirty days. All reviews of the petition will be discontinued if the expenses have not been paid within that period. Such expenses may include, but are not limited to: attorney's fees, engineer fees, public advertising expenses, and recording fees. Please complete the information below and sign.

NAME OF PERSON TO BE BILLED: _____

ADDRESS: _____

PHONE NUMBER: _____

EMAIL: _____

SIGNATURE: _____

DATE: _____

ZONING/LOCATION MAP

1180 Lexington Dr.

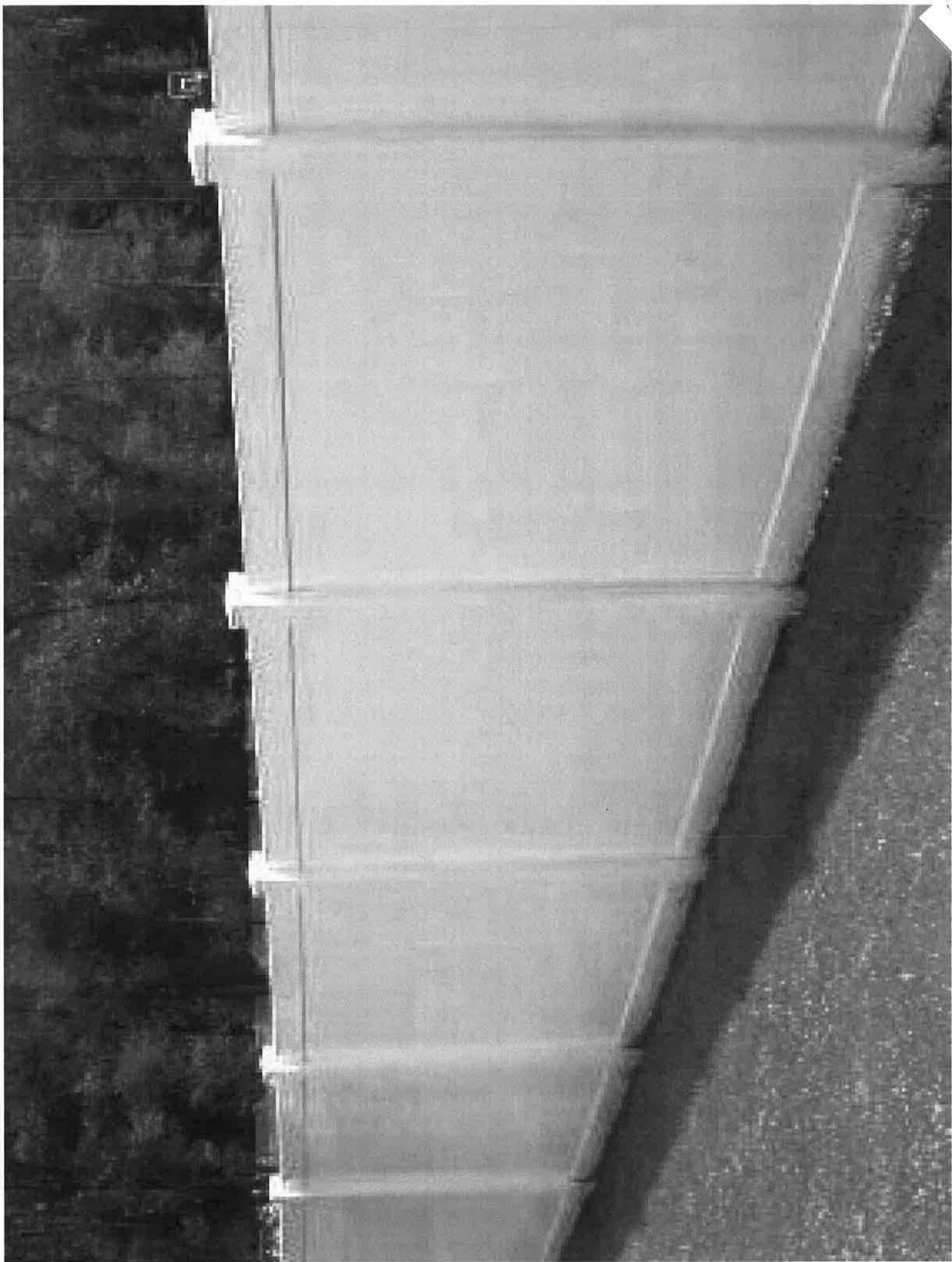
Case #17-21

Variation for Fence









EXACTA
ILLINOIS SURVEYORS, INC.

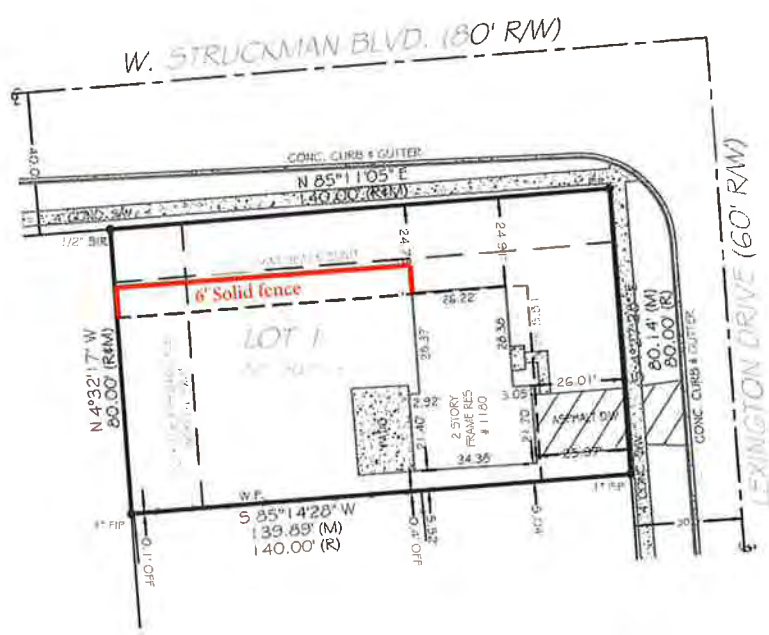


PROPERTY ADDRESS: 1180 LEXINGTON DRIVE BARTLETT, ILLINOIS 60103 SURVEY NUMBER: 1706.2082

FIELD WORK DATE: 7/8/2017 REVISION DATE(S): (REV 0 7/11/2017)

17062082
BOUNDARY SURVEY
DUPAGE COUNTY

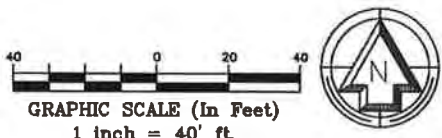
LOT 1 IN KENROY'S APPLE ORCHARD SUBDIVISION NO. 6, UNIT 1, BEING A SUBDIVISION OF PART OF THE SOUTHEAST QUARTER OF SECTION 9 AND PART OF THE SOUTHWEST QUARTER OF SECTION 10, TOWNSHIP 40 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 19, 1977, AS DOCUMENT R77-72782, IN DUPAGE COUNTY, ILLINOIS.



STATE OF ILLINOIS } 55
COUNTY OF DUPAGE

THIS IS TO CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY GIVEN UNDER MY HAND AND SEAL THIS 10TH DAY OF JULY, 2017 AT 312 S. HALL STREET IN WHEATON, IL 60187

Warren D. Johnson



ILLINOIS PROFESSIONAL LAND SURVEYOR No 2971
LICENSE EXPIRES 11/30/2018
EXACTA LAND SURVEYORS LB# 5763

THE ABOVE SURVEY IS A PROFESSIONAL SERVICE IN COMPLIANCE WITH THE MINIMUM STANDARDS OF THE STATE OF ILLINOIS. NO IMPROVEMENTS SHOULD BE MADE ON THE BASIS OF THIS PLAT ALONE. PLEASE REFER ALSO TO YOUR DEED, TITLE POLICY AND LOCAL ORDINANCES. COPYRIGHT BY EXACTA ILLINOIS SURVEYORS. THIS DOCUMENT MAY ONLY BE USED BY THE PARTIES TO WHICH IT IS CERTIFIED. PLEASE DIRECT QUESTIONS OR COMMENTS TO EXACTA ILLINOIS SURVEYORS, INC. AT THE NUMBER IN THE BOTTOM RIGHT CORNER.

POINTS OF INTEREST
NONE VISIBLE

CLIENT NUMBER: _____ DATE: 7/11/2017

BUYER: _____

SELLER: _____

CERTIFIED TO: _____

Exacta Proudly Supports





THE CARA PROGRAM
transforming lives

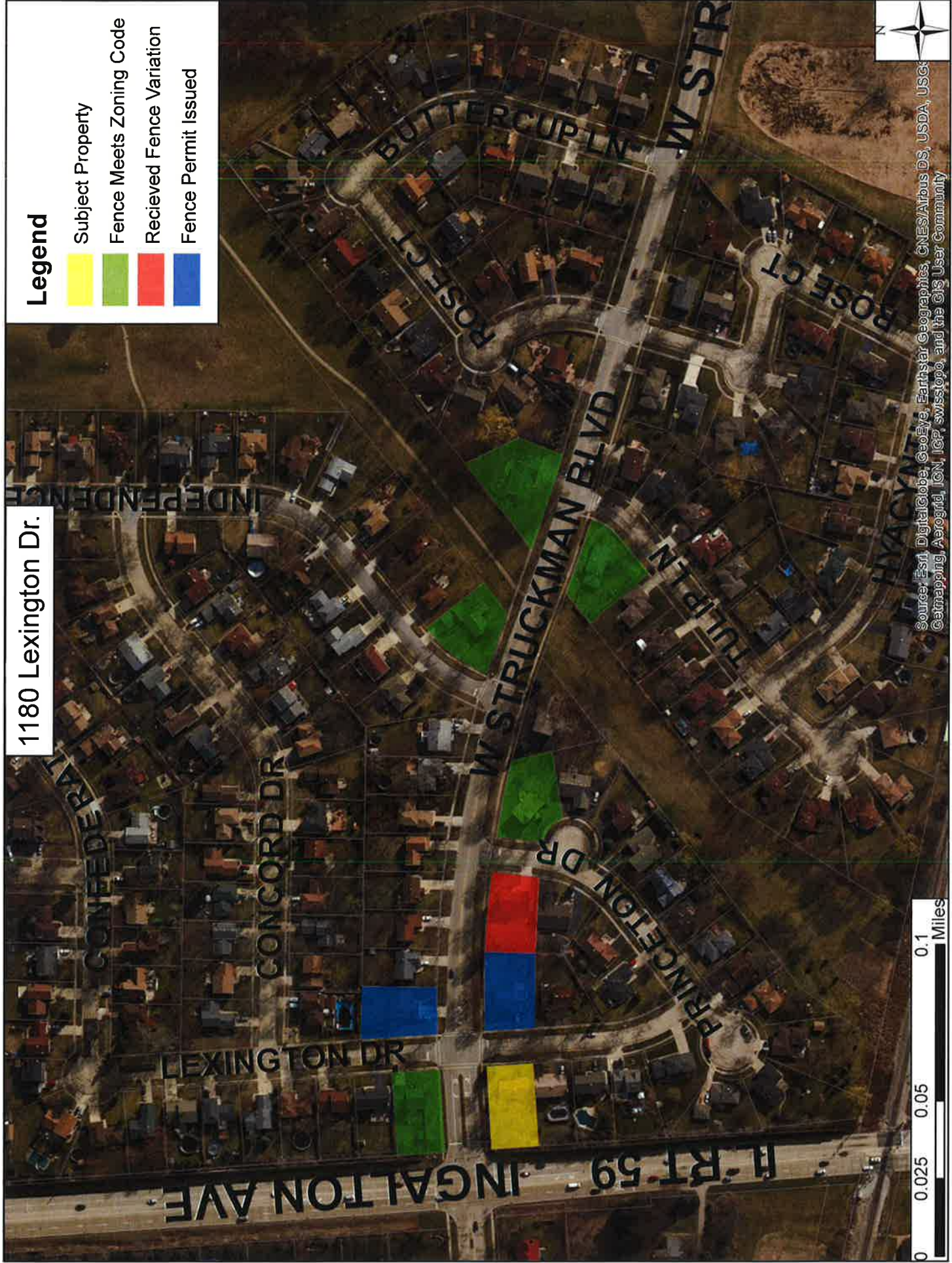
www.thecara.org

Since 1981, The Cara Program has provided more than \$180 million in additional income to 6,500 equality jobs, helping the same number of families to stop the transfer of poverty from one generation to the next.

1180 Lexington Dr.

Legend

-  Subject Property
-  Fence Meets Zoning Code
-  Received Fence Variation
-  Fence Permit Issued



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, IGP, swisstopo, and the GIS User Community

COMMUNITY DEVELOPMENT MEMORANDUM
17-173

DATE: August 31, 2017
TO: The Chairman and Members of the Zoning Board of Appeals
FROM: Roberta B. Grill, Assistant Community Development Director *RBG*
RE: **(#17-11) Rana Meal Solutions Plant 2**

PETITIONER

Salvatore Trupiano on behalf of Rana Meal Solutions

SUBJECT SITE

Part of Lots 4, 6 & 7 in the Brewster Creek Business Park (directly west of the existing Rana building located at 550 Spitzer Road)

REQUESTS

Variations: (a) To allow an eight (8) foot high fence where a four (4) foot high fence is permitted in the front and corner side yards; and
(b) To reduce the number of required parking spaces (from 403 to 393)

SURROUNDING LAND USES

	<u>Land Use</u>	<u>Comprehensive Plan</u>	<u>Zoning</u>
Subject Site	Vacant/Food Manufacturing	Mixed Use Business Park	I-2 EDA
North	Industrial/Vacant	Mixed Use Business Park	I-2 EDA
South	Industrial	Mixed Use Business Park	I-2 EDA
East	Industrial	Mixed Use Business Park	I-2 EDA
West	Industrial	Mixed Use Business Park	I-2 EDA

ZONING HISTORY

The Site Plan for the original 100,000 sq. foot spec building was approved by Ordinance #2006-99 *An Ordinance Approving the Site Plan for Lots 7 D/G and Parts of Lots 7E/F in the Brewster Creek Business Park.*

In 2011, two Site Plan Amendments were approved for additions to the west side of the building. The first addition consisted of 5,768 sq. feet (Ordinance #2011-37) and the second addition was for 5,485 sq. feet (Ordinance #2011-65).

In 2013 the Petitioner was granted approval for a Third Site Plan Amendment (Ordinance #2013-54) along the east side of the building consisting of 3,723 sq. feet; however, the petitioner only built approximately 2,457 sq. feet. This east side addition was primarily to house mechanicals and provide additional storage space which then freed up space

within the production area for additional food processing.

In 2015 the Petitioner was granted approval for a Fourth Site Plan Amendment (Ordinance #2015-102) for a 17,352 square foot, 2-story addition also located along the east side of the building, but this addition encompassed the entire east elevation.

DISCUSSION

1. The Petitioner is requesting a Preliminary/Final PUD Plan to construct a second building directly west of the current Rana facility along Brewster Creek Boulevard. The new building and associated parking area would be located on the west 11.7 acres of the 18.25 acre subject property and would be built to accommodate Rana's new lasagna line. *(This item will be discussed by the Plan Commission at their meeting on September 14, 2017.)*
2. As outlined in the Zoning Ordinance, two principal buildings located on one zoning lot requires a PUD application and therefore the Petitioner is also requesting a Special Use Permit for the PUD (Planned Unit Development) overlay on the subject property. *(This item will be discussed by the Plan Commission at their meeting on September 14, 2017.)*
3. No changes are proposed to the existing building, consisting of approximately 133,879 square feet and located on the east 6.5 acres of the site.
4. The new 326,652 square foot building would consist of three (3) stories and be approximately 44' 10" in height. It would be constructed with precast concrete panels painted white with a grey accent band and aluminum frames placed around the windows to match the windows on the existing building. A future painted mural is also proposed along the south elevation as depicted on the attached color rendering.
5. Three (3) new curb cuts proposed along the western half of the property would provide access to the new facility and employee parking lot. Two curb cuts would be located along Hecht Drive (north and west property lines) and one along Brewster Creek Boulevard (south property line). An internal access drive north of the new facility would link both buildings for vehicular and emergency access.
6. Pedestrian linkages have also been provided on the subject property. Employees would be able to utilize a five (5) foot wide sidewalk beginning within the parking lot leading to the west, north and south sides of the new building; as well as providing access to the existing building, if needed. In addition, a missing segment of the eight (8) foot wide bike path will be installed along the north side of Brewster Creek Boulevard providing a walking path from Stearns Road to east of Spitzer Road as part of the overall Brewster Creek Business Park bike path network.
7. Six (6) new loading docks, as well as seven (7) drive-in doors would be located along the east elevation and will be covered with canopies to protect the food products being loaded onto the trucks. These loading areas would coordinate with the loading areas of the existing building which are oriented westward, creating one internal

loading area on the subject property. Access to the loading areas would be via a direct route from either the north, Hecht Drive, or from the south, Brewster Creek Boulevard, with a security gate and/or guard house provided at each curb cut location.

8. The new building will primarily consist of the production lines on the ground floor with several office areas proposed. The 2nd and 3rd floors will also include some offices, but will primarily house mechanical equipment (i.e. silos, cooling towers, etc.)
9. An eight (8) foot high, black chainlink fence is proposed around the perimeter of the west half of the 18 acre site, including the front and corner side yards which will require a **Variation** request. This fence is needed for security purposes and matches the fence currently located on the eastern half of the subject property for the existing building. Each of the curb cuts associated with the new parking lot will be gated and employees would need key cards to access this site. Visitors to the property would still enter at the existing guard house which will now be moved slightly southward from its present location to allow for improved maneuverability in the loading area and added security into the adjacent passenger vehicle parking lot.
10. A second **Variation** is being requested for a reduction in the number of required parking spaces from 403 to 393 (including eight accessible spaces). The Petitioner has stated that the new building will have approximately 90 employees on one shift, with a maximum of 180 employees at a shift change. Staff believes the parking spaces identified on the plan will meet the demand for this new facility. The existing building currently has approximately 120 employees and 114 parking spaces provided on site (the approved 108 temporary parking spaces will be eliminated with the construction of the new building) for a total of 507 spaces to be shared by both facilities.
11. Landscaping and Engineering plans are currently being reviewed by the Staff. A Site Development Permit has been issued by the Building Department for mass grading on the site to prepare the property for any future development.

RECOMMENDATION

1. *According to the provisions of the Zoning Ordinance, the Zoning Board of Appeals should render a decision based upon the following:*
 - A. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.
 - B. That conditions upon which the petition for the variations are based are unique to the property for which the variations are sought and are not applicable, generally, to other property within the same zoning classifications.
 - C. That the purpose of the variations are not based exclusively upon a desire to make money out of the property.

- D. That the alleged difficulty or hardship is caused by the provision of this Title and has not been created by any person presently having an interest in the property.
- E. That the granting of the variations will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.
- F. That the proposed variations will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.
- G. That the granting of the variances requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

The variations shall be recommended only if the evidence, in the judgment of the Board of Appeals, sustains all the conditions enumerated above.

2. Background information is attached for your review and consideration.

rbg/attachments

x:\comdev\mem2017\173_rana2_zba.docx



VILLAGE OF BARTLETT DEVELOPMENT APPLICATION

For Office Use Only

Case # 17-11

**RECEIVED
COMMUNITY DEVELOPMENT**
(Village Stamp)
APR 11 2017

**VILLAGE OF
BARTLETT**

PROJECT NAME Rana Meal Solutions Plant 2

PETITIONER INFORMATION (PRIMARY CONTACT)

Name: Salvatore Trupiano

Street Address: 550 Spitzer Rd

City, State: Bartlett, IL

Zip Code: 60103

Email Address: strupiano@ranausa.us

Phone Number: 630-277-0415

Preferred Method to be contacted: Email

PROPERTY OWNER INFORMATION

Name: Angelo Iantosca (Owner Rep)

Street Address: 1400 16th St Suite 275

City, State: Oak Brook IL

Zip Code: 60523

Phone Number: 630-233-2313

OWNER'S SIGNATURE: _____ **Date:** 04/10/17
(OWNER'S SIGNATURE IS REQUIRED or A LETTER AUTHORIZING THE PETITION SUBMITTAL.)

ACTION REQUESTED (Please check all that apply)

- | | |
|---|---|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Text Amendment |
| <input checked="" type="checkbox"/> PUD (preliminary) | <input type="checkbox"/> Rezoning <u>1-2</u> <input type="checkbox"/> to <input checked="" type="checkbox"/> PUD <input type="checkbox"/> |
| <input checked="" type="checkbox"/> PUD (final) | <input type="checkbox"/> Special Use for: _____ |
| <input type="checkbox"/> Subdivision (preliminary) | <input checked="" type="checkbox"/> Variation: <u>Request service door access off Hecht, and reduce setback.</u> |
| <input type="checkbox"/> Subdivision (final) | |
| <input type="checkbox"/> Site Plan (please describe use: commercial, industrial, square footage):
<u>326,000 sq/ft</u> | |
| <input type="checkbox"/> Unified Business Center Sign Plan | |
| <input type="checkbox"/> Other (please describe) _____ | |

SIGN PLAN REQUIRED? Yes

(Note: A Unified Business Center Sign Plan is required for four or more individual offices or businesses sharing a common building entrance or private parking lot.)

PROPERTY INFORMATION

Common Address/General Location of Property: Brewster creek pkwy

Property Index Number ("Tax PIN"/"Parcel ID"): 01-05-202-005-0000

Zoning: Existing: See Dropdown I-ZEDA Land Use: Existing: See Dropdown MIXED USE BUSINESS PARK
(Refer to Official Zoning Map)
Proposed: See Dropdown I-ZEDA Proposed: See Dropdown MIXED USE BUSINESS PARK

Comprehensive Plan Designation for this Property: Industrial
(Refer to Future Land Use Map)

Acreage: 18.26

For PUD's and Subdivisions:

No. of Lots/Units: 2

Minimum Lot: Area _____ Width _____ Depth _____

Average Lot: Area _____ Width _____ Depth _____

APPLICANT'S EXPERTS (If applicable, including name, address, phone and email)

Attorney

Engineer

Manhard consulting 700 Springer Dr, Lombard 630-891-8500

Joe Iovenelli

Other

FINDINGS OF FACT FOR VARIATIONS

Both the Zoning Board of Appeals and the Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Zoning Ordinance and if there is a practical difficulty or hardship in carrying out the strict letter of the regulations of the Zoning Ordinance.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the ZBA and Village Board to review.)**

1. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

The physical surroundings and shape to the specific propert involved will not result to hardship to the owner.

2. That conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.

The conditions upon which the petition is not based opun a unique use for the property.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

The PUD is not to make more money out of the property but to help speed up the contruction process.

4. That the alleged difficulty or hardship is caused by the provisions of this Title and has not been created by any person presently having an interest in the property.

No hard ship has been caused to the person with intrest to this property.

5. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.

The PUD use will not be detrimental to the public.

6. That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.

The PUD will not impair to the light and air quality to the property or increase congestion to the public streets.

7. That the granting of the variance requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

The PUD will not confer to any special privilege in the same distric.

ACKNOWLEDGEMENT

I understand that by signing this form, that the property in question may be visited by village staff and Board/Commission members throughout the petition process and that the petitioner listed above will be the primary contact for all correspondence issued by the village.

I certify that the information and exhibits submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the above signatures.

Any late, incomplete or non-conforming application submittal will not be processed until ALL materials and fees have been submitted.

SIGNATURE OF PETITIONER: _____

PRINT NAME: Salvatore Trupiano

DATE: 04/10/17

REIMBURSEMENT OF CONSULTANT FEES AGREEMENT

The undersigned hereby acknowledges his/her obligation to reimburse the Village of Bartlett for all necessary and reasonable expenses incurred by the Village for review and processing of the application. Further, the undersigned acknowledges that he/she understands that these expenses will be billed on an ongoing basis as they are incurred and will be due within thirty days. All reviews of the petition will be discontinued if the expenses have not been paid within that period. Such expenses may include, but are not limited to: attorney's fees, engineer fees, public advertising expenses, and recording fees. Please complete the information below and sign.

NAME OF PERSON TO BE **BILLED**: Salvatore Trupiano

ADDRESS: 550Spitzer Rd Bartlett, IL 60103

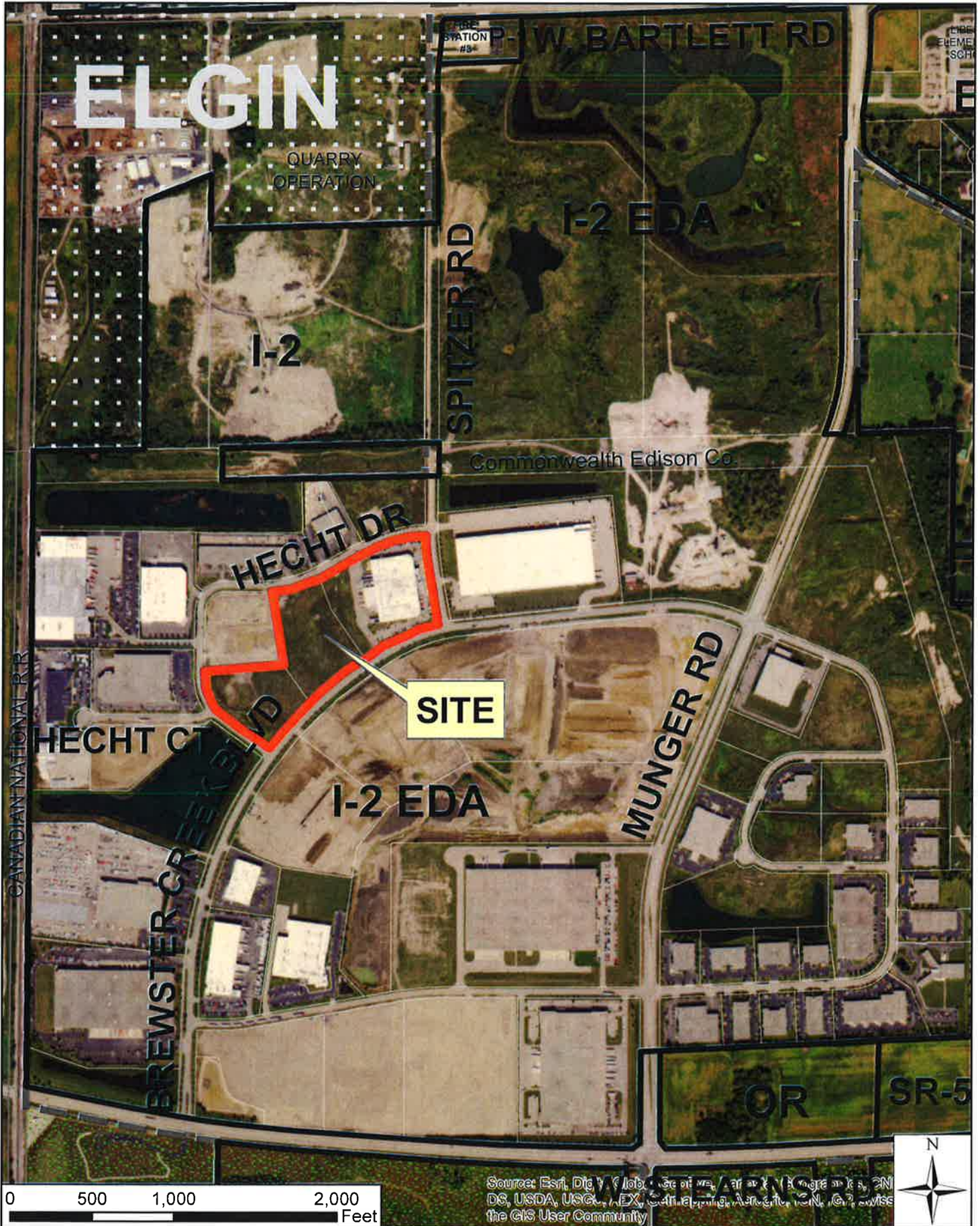
PHONE NUMBER: 630-277-0415

EMAIL: strupiano@ranausa.us

SIGNATURE: _____

DATE: _____

Case #17-11 Rana Plant 2
Preliminary/Final PUD, Special Use, Variations



GENERAL NOTES:

1. DIMENSION AND PROPERTY LINES SHOWN ARE FOR COORDINATION ONLY. REFER TO CIVIL DRAWINGS FOR DIMENSIONAL CONTROL PLANS.
2. BUILDING AND SITE LAYOUT TO BE VERIFIED BY LICENSED SURVEYOR AND WRITTEN VERIFICATION TO BE FORWARDED TO OWNER.
3. ALL DRIVE APPROACHES SHALL BE INSTALLED PER CITY AND STATE STANDARDS.
4. ALL PAVED AREAS TO BE ASPHALT UNO. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
5. G.C. TO INSTALL SIGNAGE FOR ACCESSIBLE PARKING PER CITY AND STATE STANDARDS. ALL SIGNAGE AND LOCATION SIGNAGE TO BE VERIFIED WITH OWNER. ALL SIGNAGE TO BE PERMITTED SEPARATELY.
6. ALL EXTERIOR CONCRETE TO BE 4000 PSI. MIN. WITH AIR ENTRAINMENT UNO. TO BE GREATER.
7. PROVIDE DEPRESSED CONCRETE GUTTER AT DRIVEWAYS WITH 1/2" RISE BEARS AND 1/2" EXPANSION JOINT AT CENTER OF DRIVEWAY UNO. OTHERWISE SEE CIVIL DRAWINGS FOR LOCATIONS.
8. CONCRETE WALKS TO BE A MINIMUM 5'-0" IN WIDTH & 5" THICK ON 4" CA-6 GRAVEL BASE. PROVIDE THREE #6x10' LONG REINFORCING BARS AT UTILITY CROSSING UNO.
9. REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE GRADES, STORM DRAINAGE UTILITIES, DIMENSIONS AND BEARING ANGLES.
10. ALL SIDEWALK, PARKING LOT SLOPES AND GRASSES TO BE VERIFIED WITH CIVIL ENGINEERING DRAWINGS. ARCHITECT IS NOT RESPONSIBLE FOR NON-COMPLIANCE. PER USE THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1%. THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT BE STEEPER THAN 1/4%. THE WATER MAIN SERVING THE FIRE SPRINKLER SYSTEM TO BE FLUSHED AT A RATE APPROPRIATE TO ITS SIZE PRIOR TO CONNECTION TO THE SYSTEM. NOTIFY THE LOCAL AUTHORITY 24 HOURS IN ADVANCE OF THE FLUSHING TO WITNESS.
11. GENERAL CONTRACTOR TO PROVIDE A MIN. OF 6" TOP SOIL IN PLANTING AREAS UNLESS NOTED OTHERWISE.
12. "KNOXBOX" KEYBOX - LOCATION TO BE VERIFIED W/C. AND FIRE DEPT. # TO BE INSTALLED 55'-65" ABOVE GRADE.
13. STREET NUMBERS TO HAVE 5' LETTERING HEIGHT AND BE IN A COLOR THAT IS CONTRASTING FROM THE BUILDING SCRIPT. LETTERING SHALL NOT BE ALLOWED TO VERIFY ADDRESS LOCATION AND SIZE WITH FIRE DEPARTMENT.



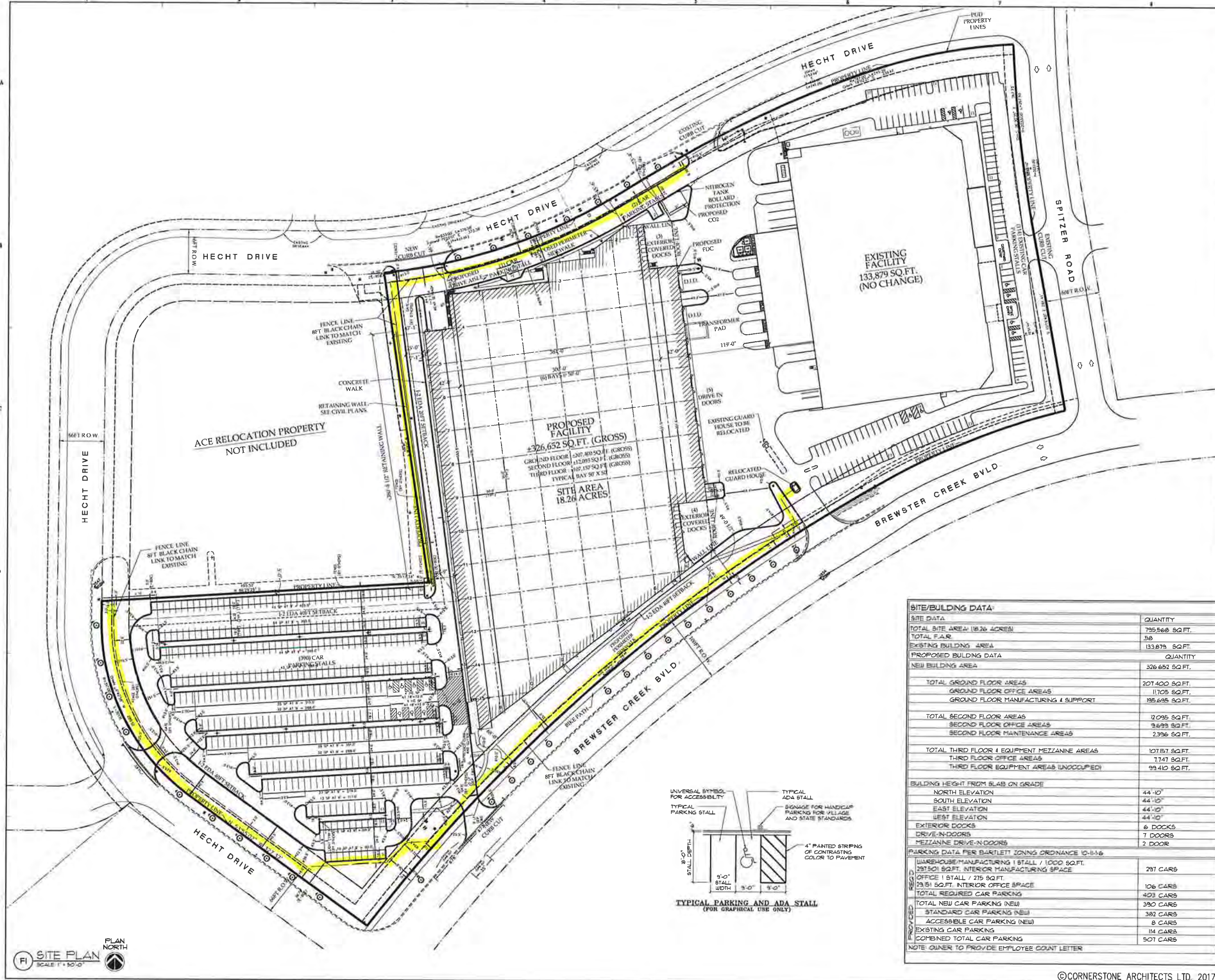
DATE	REVISION DESCRIPTION
8-23-2017	REVISED PER VILLAGE COMMENTS
7-25-2017	PER VILLAGE COMMENTS
7-20-2017	UPDATED PROGRESS PLANS
7-20-2017	UPDATED PROGRESS PLANS
7-19-2017	REVISED PER REVIEW COMMENTS
6-29-2017	PROGRESS PLANS
6-20-2017	PROGRESS PLANS
4-6-09-2017	SITE REVISIONS
4-5-11-2017	RE-ISSUED FOR PUD
3-30-2017	ISSUED FOR PUD
2-27-2017	FOR SITE PLANNING REVIEW
1-2-10-2017	FOR SITE PLANNING REVIEW

DATE: 02-03-2017
DRAWN: JLD
CHECKED: WJB

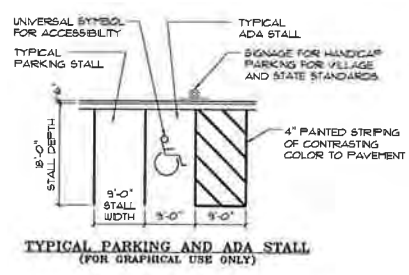
RANA MEAL SOLUTIONS
BUILD-TO-SUIT
BREWSTER CREEK BOULEVARD
BARTLETT, ILLINOIS 60103

PRELIMINARY / FINAL
PUD PLAN

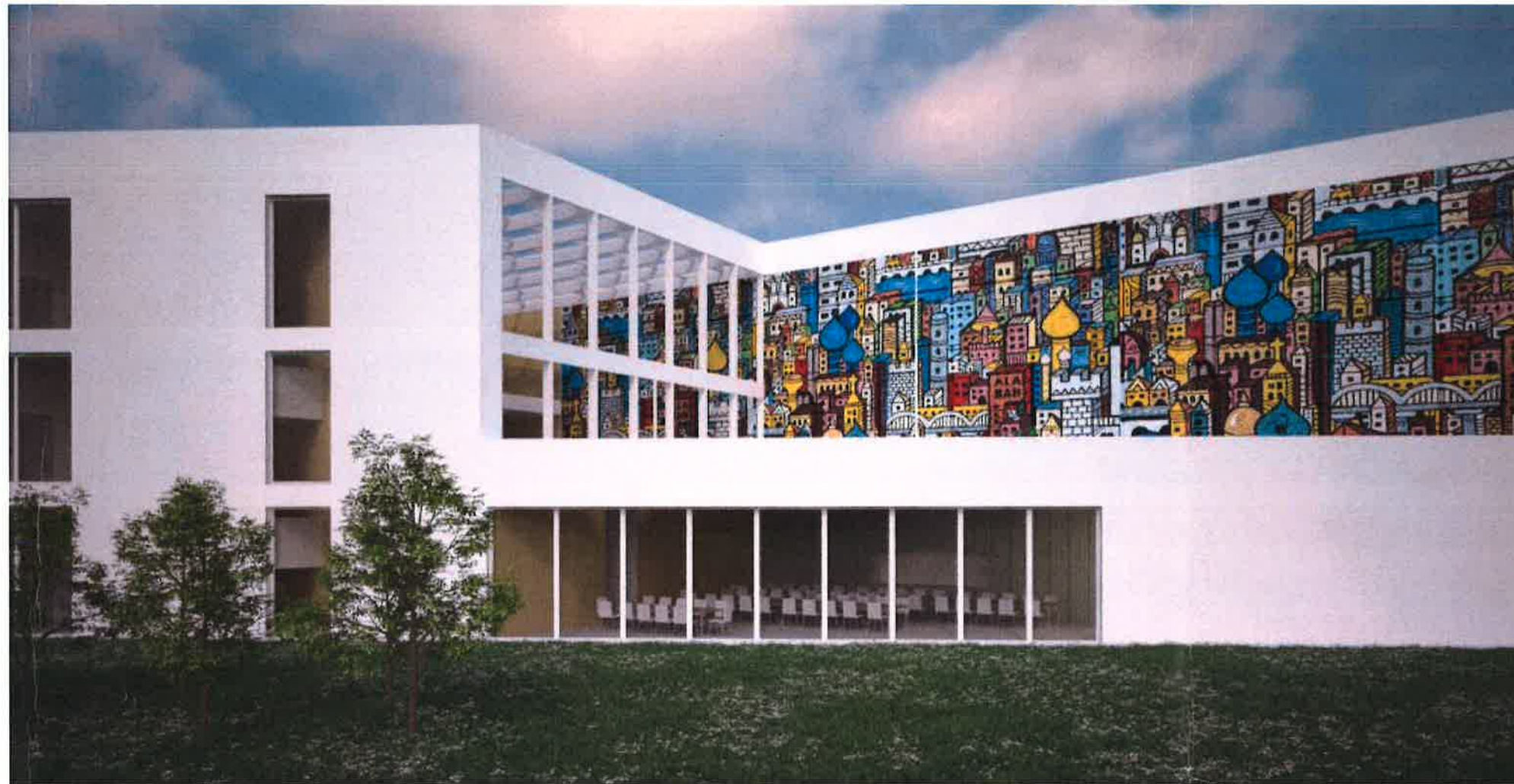
JOB NO. 16207 SHEET NO. A100

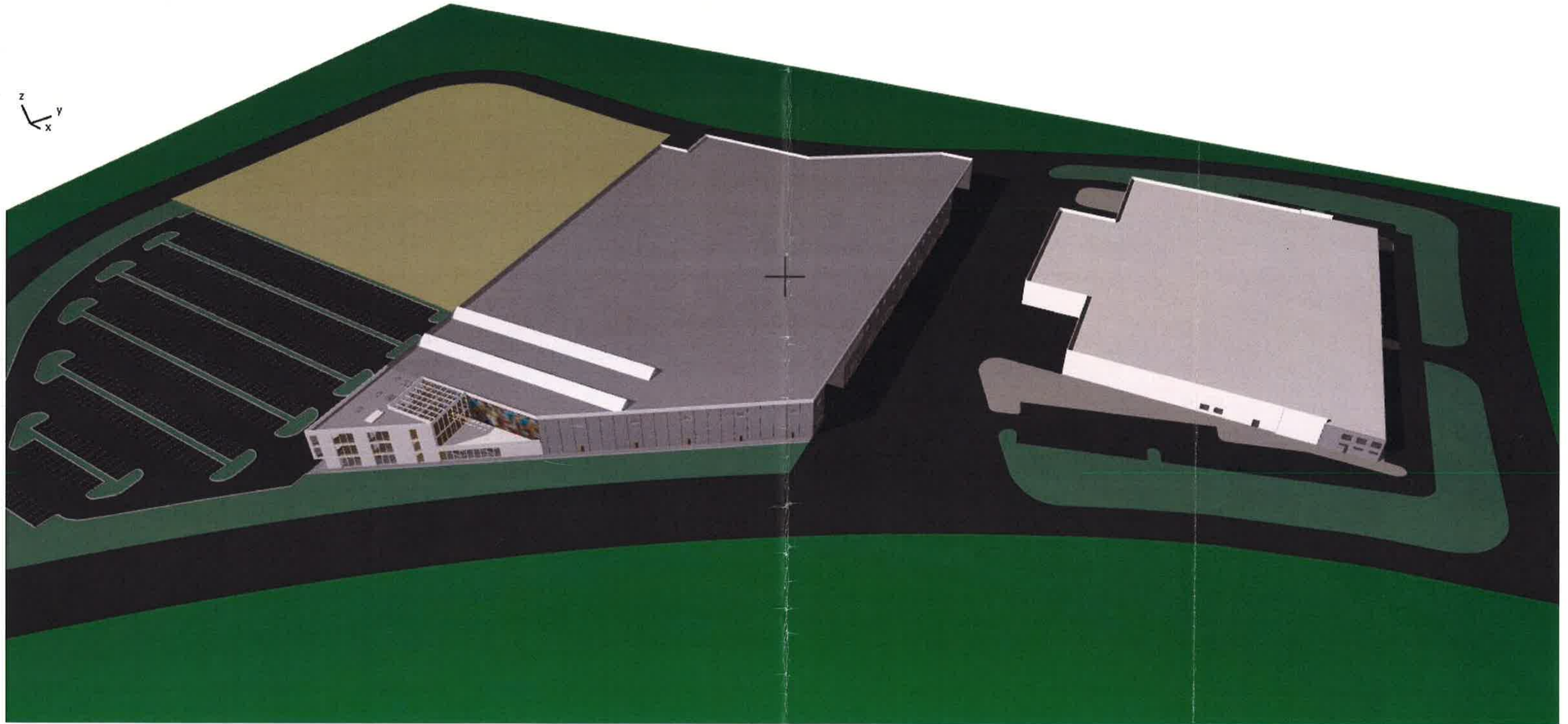


SITE/BUILDING DATA:	
SITE DATA	QUANTITY
TOTAL SITE AREA (18.26 ACRES)	795,568 SQ. FT.
TOTAL F.A.R.	58
EXISTING BUILDING AREA	133,879 SQ. FT.
PROPOSED BUILDING DATA	QUANTITY
NEW BUILDING AREA	326,652 SQ. FT.
TOTAL GROUND FLOOR AREAS	207,400 SQ. FT.
GROUND FLOOR OFFICE AREAS	11,705 SQ. FT.
GROUND FLOOR MANUFACTURING & SUPPORT	195,695 SQ. FT.
TOTAL SECOND FLOOR AREAS	12,095 SQ. FT.
SECOND FLOOR OFFICE AREAS	3,699 SQ. FT.
SECOND FLOOR MAINTENANCE AREAS	2,396 SQ. FT.
TOTAL THIRD FLOOR & EQUIPMENT MEZZANINE AREAS	10,715 SQ. FT.
THIRD FLOOR OFFICE AREAS	7,747 SQ. FT.
THIRD FLOOR EQUIPMENT AREAS (UNOCCUPIED)	99,410 SQ. FT.
BUILDING HEIGHT FROM SLAB ON GRADE	
NORTH ELEVATION	44'-10"
SOUTH ELEVATION	44'-10"
EAST ELEVATION	44'-10"
WEST ELEVATION	44'-10"
EXTERIOR DOCKS	6 DOCKS
DRIVE-IN DOORS	7 DOORS
MEZZANINE DRIVE-IN DOORS	2 DOOR
PARKING DATA PER BARTLETT ZONING ORDINANCE 10-11-16	
WAREHOUSE/MANUFACTURING 1 STALL / 1000 SQ. FT.	297 CARS
297,501 SQ. FT. INTERIOR MANUFACTURING SPACE	
OFFICE 1 STALL / 275 SQ. FT.	106 CARS
29,511 SQ. FT. INTERIOR OFFICE SPACE	
TOTAL REQUIRED CAR PARKING	403 CARS
TOTAL NEW CAR PARKING (NEW)	390 CARS
STANDARD CAR PARKING (NEW)	382 CARS
ACCESSIBLE CAR PARKING (NEW)	8 CARS
EXISTING CAR PARKING	114 CARS
COMBINED TOTAL CAR PARKING	507 CARS
NOTE: OWNER TO PROVIDE EMPLOYEE COUNT LETTER	









GENERAL NOTES:

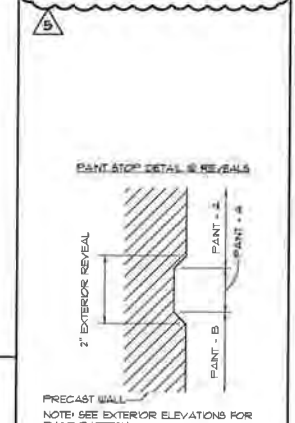
1. PRECAST PAINT TO BE APPLIED IN SMALL PICK-UP AREA FOR OWNER AND ARCHITECT TO REVIEW AND APPROVE PRIOR TO STARTING ENTIRE BUILDING.
2. ALL EXTERIOR PRECAST TO BE PAINTED.

BUILDING COLOR KEY:

BUILDING COLORS: VERIFY WORKMAN!

- COLOR BY WHITE
- COLOR P2 GRAY
- ALL OVERHEAD DOORS TO BE SHOP PRIME AND PAINTED COLOR BY OWNER
- ALL METAL HAND DOORS & FRAMES TO BE PRIME AND PAINTED COLOR BY OWNER
- COPING COLOR TO MATCH GRAY PAINT.

3. ALL ROOFTOP UNITS PROVIDED ARE TO BE SCREENED.



NOTE: SEE EXTERIOR ELEVATIONS FOR PAINT PATTERN.

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BARTLETT



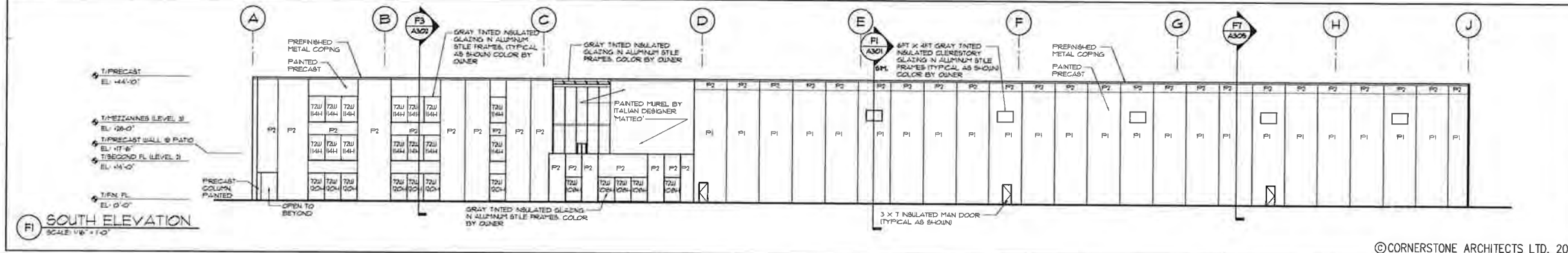
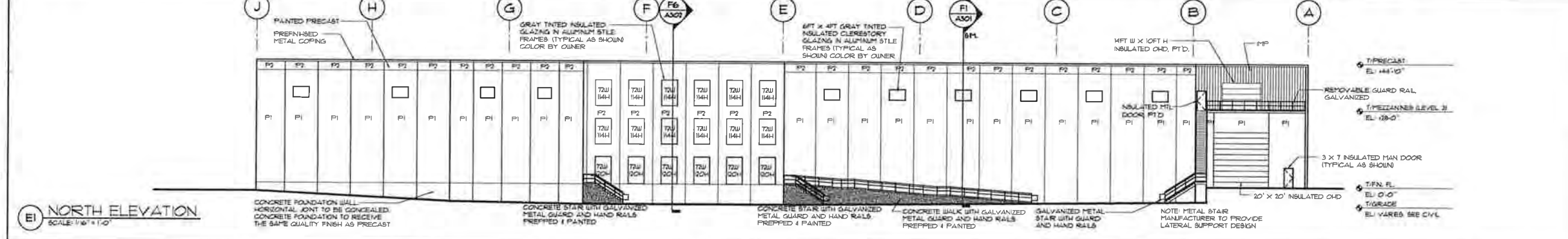
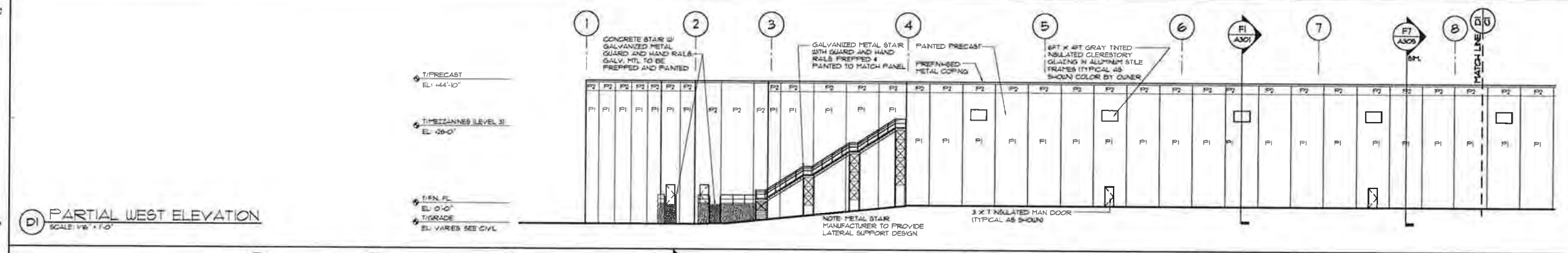
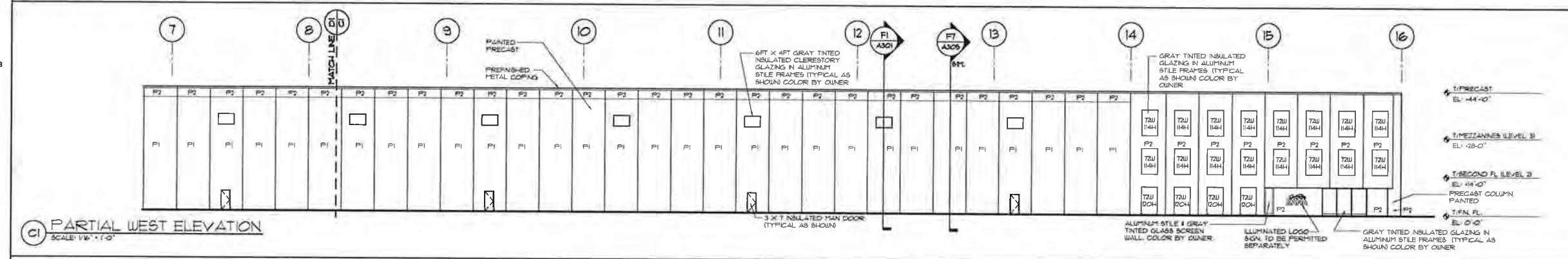
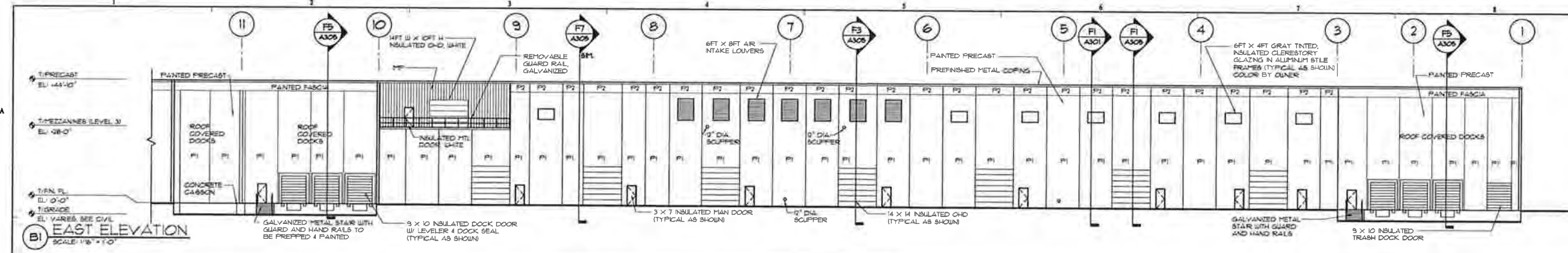
5	8-23-2017	REVISED PER VILLAGE COMMENTS
	8-17-2017	UPDATED PROGRESS PLANS
	7-25-2017	PER VILLAGE COMMENTS
	7-20-2017	UPDATED PROGRESS PLANS
	6-29-2017	PROGRESS PLANS
	6-20-2017	PROGRESS PLANS
4	5-11-2017	RE-ISSUED FOR PUD
2	3.30.2017	ISSUED FOR PUD
1	1.13.2017	RFP
no.	date	revision description

date: 01-05-2017
drawn: JLD
checked: MJB

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RANA MEAL SOLUTIONS
BREWSTER CREEK BOULEVARD
BARTLETT, ILLINOIS 60103

EXTERIOR ELEVATIONS

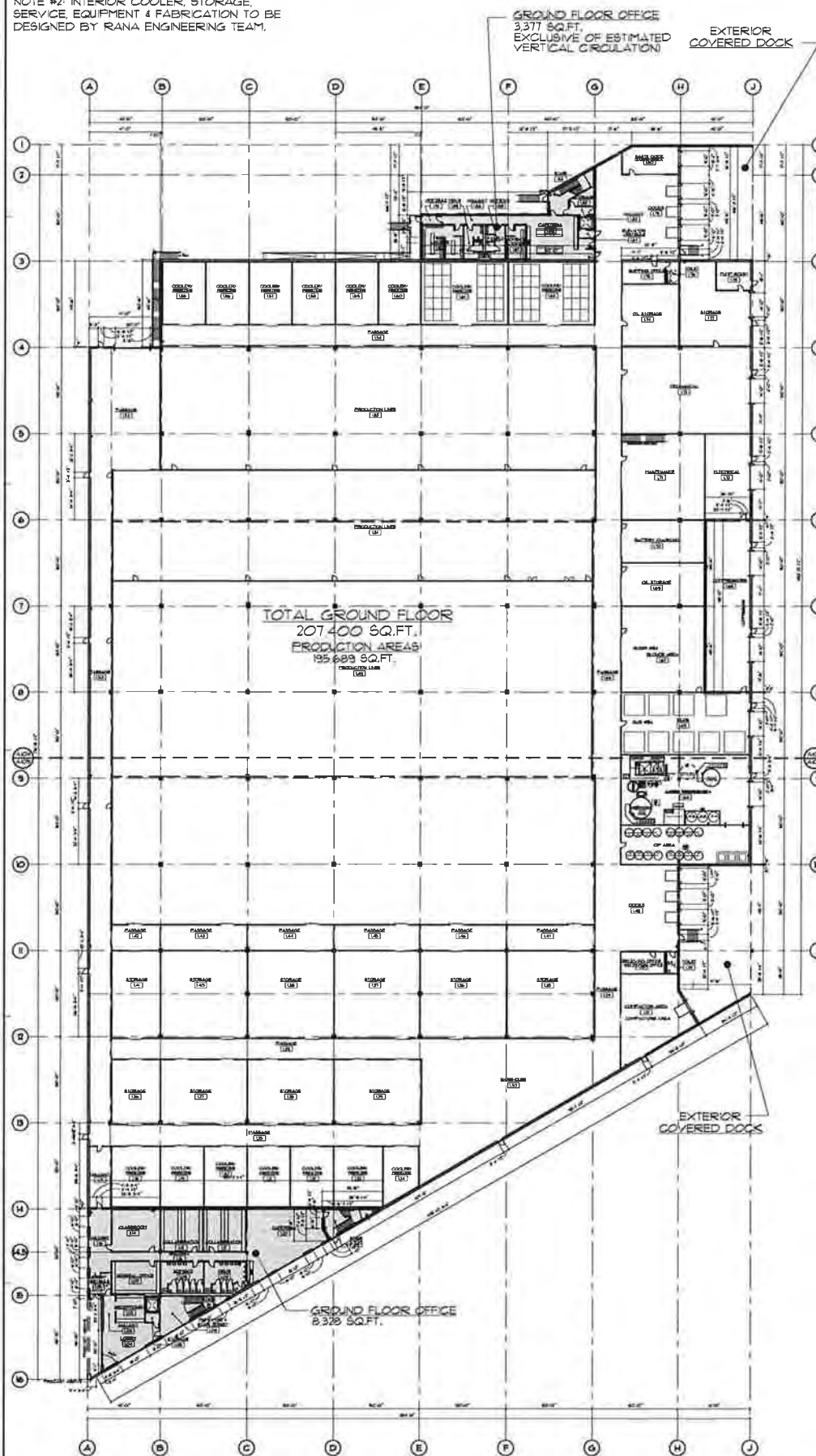
job no. 16207
sheet no. A200



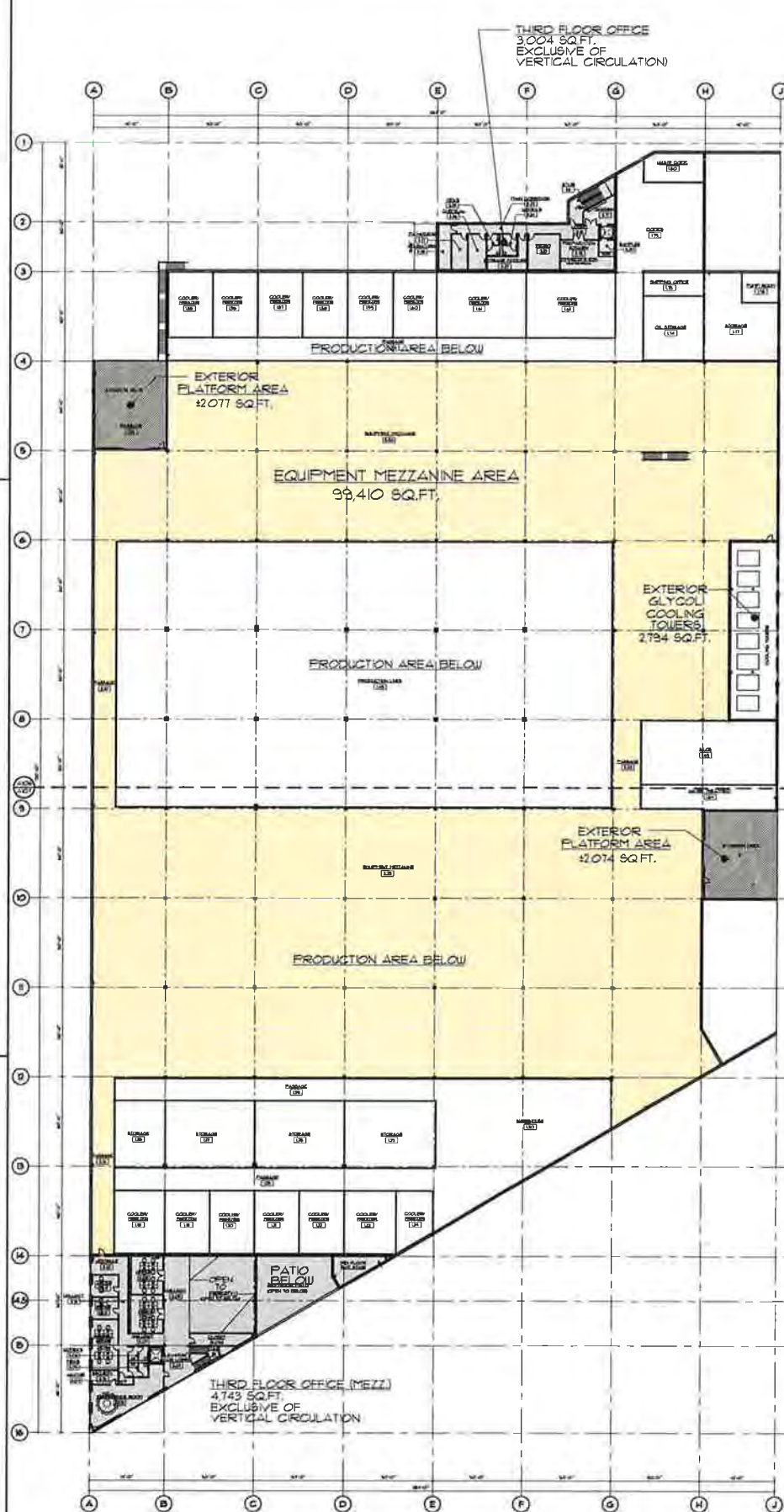
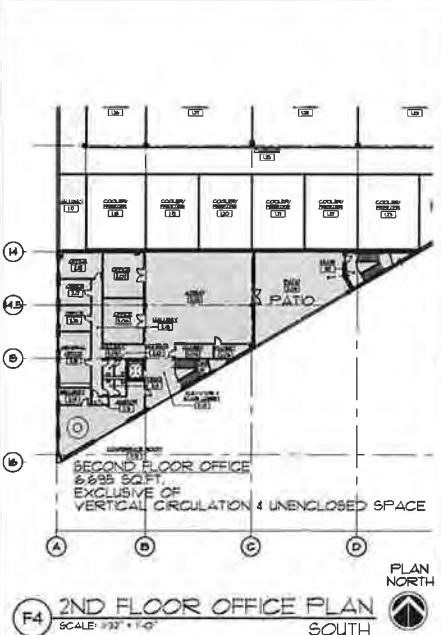
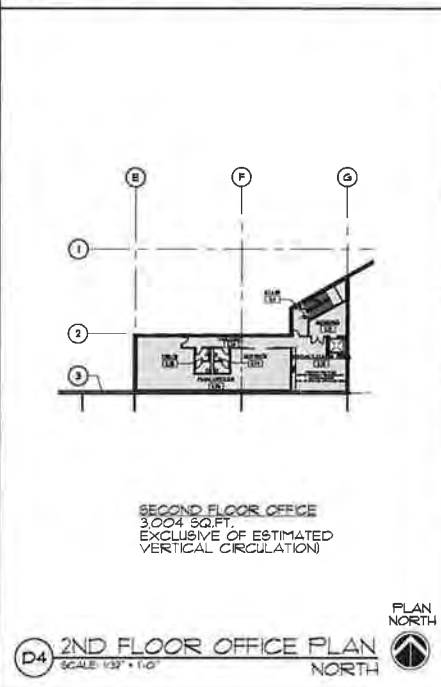
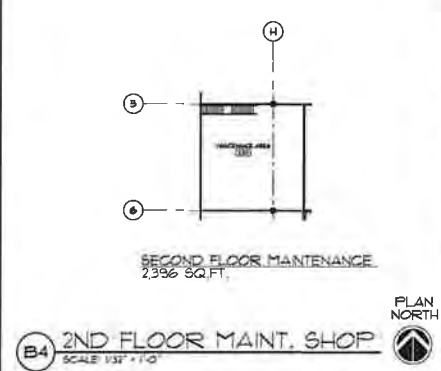
GENERAL NOTES:

NOTE #1: TYPICAL BAY SPACING = 50'-0" X 50'-0"
CLEAR HEIGHT IS ESTIMATED AT 36FT MAXIMUM.

NOTE #2: INTERIOR COOLER, STORAGE,
SERVICE EQUIPMENT & FABRICATION TO BE
DESIGNED BY RANA ENGINEERING TEAM.



F1 GROUND (1ST) FLOOR PLAN
SCALE: 1/32" = 1'-0"
PLAN NORTH



F5 MEZZANINE (3RD) FLOOR PLANS
SCALE: 1/32" = 1'-0"
PLAN NORTH

no	date	revision description
7-25-2017		PER VILLAGE COMMENTS
7-20-2017		UPDATED PROGRESS PLANS
6-29-2017		PROGRESS PLANS
6-20-2017		PROGRESS PLANS
4	5-11-2017	RE-ISSUED FOR PUD
3	5-01-2017	REVISED SCOPE
2	3-30-2017	ISSUED FOR PUD
1	1-13-2017	RFP

date : 01-05-2016
drawn : J.U.
checked : W.B.

BUILD-TO-SUIT
RANA MEAL SOLUTIONS
BREWSTER CREEK BOULEVARD
BARTLETT, ILLINOIS 60103

SCOPE PLANS

Job no. 16207 sheet no. A101

Village of Bartlett Required Landscaping

INTERIOR PARKWAY LANDSCAPING (ip)

Requirement: Adjacent to parking - One Tree per 30' of street frontage. 75% coverage of parking lot frontage with min. 3' ht shrubs (100% coverage if hedge row). Min. 50% large deciduous or evergreen trees.

Not Adjacent to Parking - One Tree per 40'. Min. 50% large deciduous or evergreen trees.

Calculations:

Frontage Adjacent to Parking - 931 lineal feet

910 lineal feet
30 feet = (30.3) 30 trees required plus shrub screening of 75%

Brewster Creek Frontage Without Parking - 630 lineal feet

630 lineal feet
40 feet = (15.8) 16 trees required

Hecht Frontage Without Parking - 484 lineal feet

484 lineal feet
40 feet = (12.1) 12 trees required

On Plan - 30 Adjacent to Parking, 16 at Brewster Creek, 9 at Hecht (7 existing)

PERIMETER LANDSCAPE AREA (pa)

Requirement: Type 2 Screening- When a parking lot will be placed along the perimeter, trees and shrubs shall be required. Shrubs shall be provided along at least 50% of the length of the parking area. One tree shall be provided for every 60' of parking lot length. Up to 25% of the required trees may be small deciduous trees.

Calculations:

Adjacent to Parking - 406 lineal feet + 390 lineal feet (drive)

796 lineal feet
60 feet = (13.2) 13 trees required plus shrub screening of 50%

On Plan - 14 trees and 420 lf shrub planting

FOUNDATION AREA LANDSCAPING (fa)

Requirement: Min. 4' wide area is recommended adjacent to all building walls. Plantings should emphasis softening large expanses of building.

On Plan - West Portion of Building Only has 3' of Landscaping All Other Areas Comply

PARKING LOT LANDSCAPING (pl)

Requirement: Minimum 7' wide curbed planting island at the end of every parking row at the same depth of the parking stalls. Two trees per double end island shall be provided with an appropriate planting of shrubs, ground covers, lawn and mulch.

One tree per island (1 tree per 20 spaces) shall be provided and appropriate shrub, groundcover or lawn planting shall be provided within all islands. Planting area shall be mounded.

All islands shall be overexcavated to a 2' depth for their entire width and length and backfilled with an appropriate mix of topsoil, peat moss and nutrients to replace the excavated material and shall be compacted, leaving a crowned or mounded top.

Calculations:

Total Parking Spaces = 382

382 Spaces
20 feet = (19.1) 19 trees required

Total Double End Islands = 12

12 x 2 = 24 trees required

Total Trees Required: 19 + 24 = 43

On Plan - 43 Parking Area Trees Provided

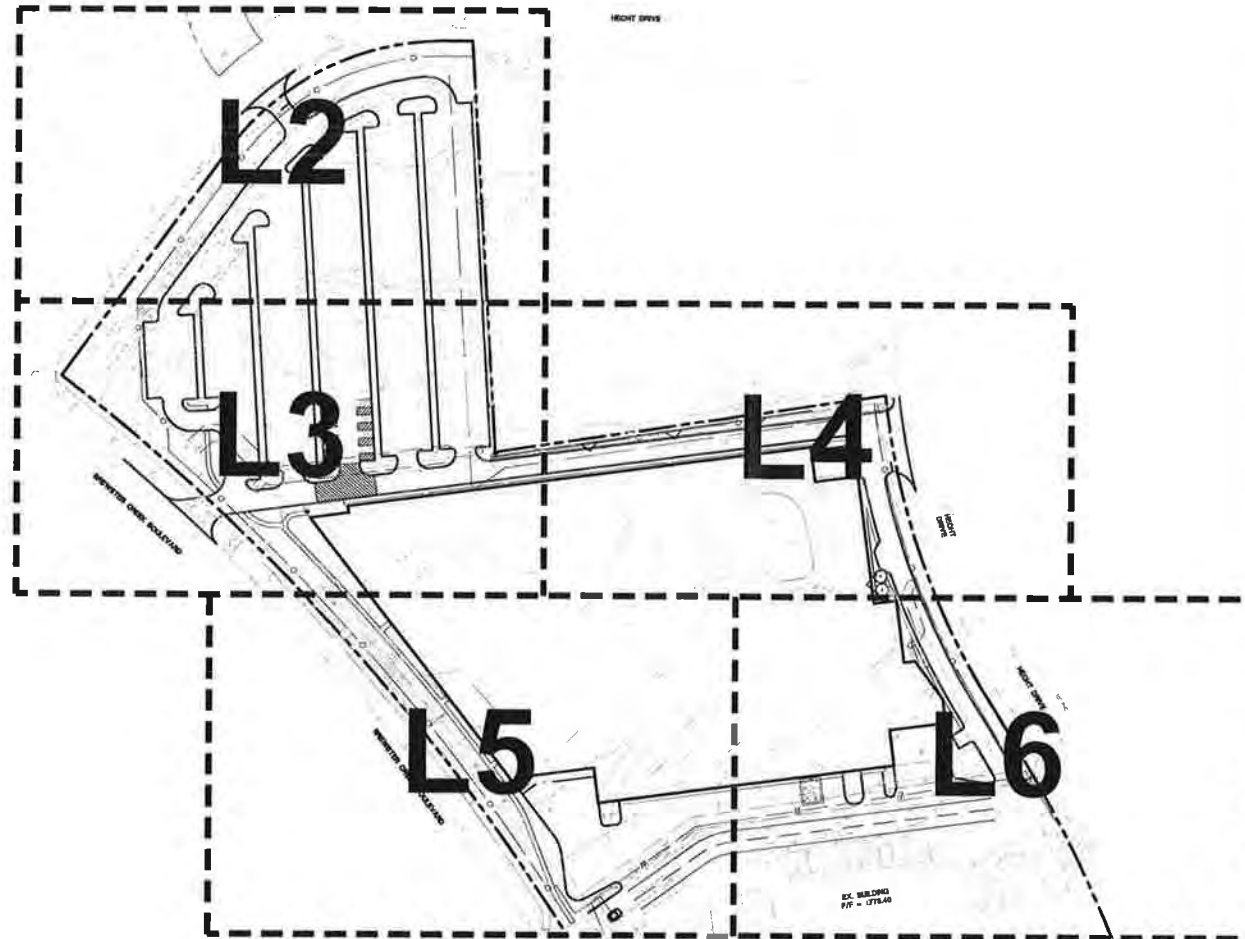
SERVICE AREA SCREENING

Requirement: All service areas shall be screened from view through use of evergreen plant materials or masonry screen walls.

On Plan - Complies

TREE PRESERVATION

Requirement: Since no trees are on the property that are over 4" Cal Bartlett does not require a full tree survey and preservation plan. However, they require all existing parkway trees of any caliper to be surveyed, measured and identified on plans. Plans shall note if the trees are to be preserved or removed.



Legend - Planting Categories

- (ip) Interior Parkway Landscaping
- (pa) Perimeter Landscape Area
- (fa) Foundation Area Landscaping
- (pl) Parking Lot Landscaping

LANDSCAPE AREA CALCULATIONS

	AREA	%
Impervious Surface	9.58 AC	80.0%
Landscape Area	2.44 AC	20.0%
Total	12.02 AC	100%



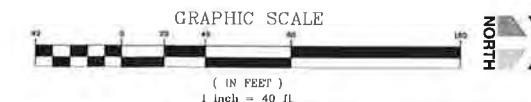
Plant List-Master

Key	Quantity	Common Name	Botanical Name	Size	Comments
Canopy Trees					
ACFR	21	AUTUMN BLAZE MAPLE	Acer freemani	2.5' BB	
GIBI	23	GINKGO (MALE)	Ginkgo biloba 'Autumn Gold'	2.5' BB	
GLTI	34	SKYLINE HONEYLOCUST	Gleditsia tricanthos inermis	2.5' BB	
QUMC	6	BUR OAK	Quercus macrocarpa	2.5' BB	
QURU	10	RED OAK	Quercus rubra	2.5' BB	
QUWL	5	REGAL PRINCE OAK	Quercus x warei 'Long'	2.5' BB	
Ornamental Trees					
CARC	3	MUSCLEWOOD	Carpinus caroliniana	6' BB	Multi-stem
Evergreen Trees					
JUFV	6	UPRIGHT JUNIPER	Juniperus 'Fairview'	6' BB	
PCAD	6	NORWAY SPRUCE	Picea abies	6' BB	
PCPU	14	COLORADO BLUE SPRUCE	Picea pungens	6' BB	
PIST	1	WHITE PINE	Pinus strobus	6' BB	
Deciduous Shrubs					
BDBC	19	BLUE CHIP BUTTERFLY BUSH	Buddleia davidii 'Blue Chip'	24" Ht.	
EUCO	3	DWARF BURNING BUSH	Euonymus a 'Compacta'	30" Ht.	
HYAA	22	ANNABELLE HYDRANGEA	Hydrangea arbor. 'Annabelle'	30" Ht.	
HYEB	11	BLOOMSTRUCK ENDLESS SUMMER HYDRANGEA	Hydrangea macrophylla 'Bloomstruck'	30" Ht.	
HYLL	34	LITTLE LIME HYDRANGEA	Hydrangea 'Little Lime'	30" Ht.	
HYPL	19	LIMELIGHT HYDRANGEA	Hydrangea paniculata 'Limelight'	30" Ht.	
HYQM	12	MUNCHKIN OAKLEAF HYDRANGEA	Hydrangea quercifolia 'Munchkin'	24" Ht.	
PHOD	3	EASTERN NINEBARK	Physocarpus opul. 'Diablo'	30" Ht.	
RHAG	183	GRO-LOW SUMAC	Rhus aromatica 'Gro-Low'	24" Ht.	
ROSK	16	KNOCKOUT SHRUB ROSE	Rosa 'Knockout'	30" Ht.	
ROSP	11	PURPLE PAVEMENT ROSE	Rosa rugosa 'Purple Pavement'	30" Ht.	
SORB	27	FALSE SPIREA	Sorbaria sorbifolia 'Sam'	30" Ht.	
SYMP	6	DWARF KOREAN LILAC	Syringia meyeri 'Palbin'	30" Ht.	
VIDE	97	ARROWWOOD VIBURNUM	Viburnum dentatum	48" Ht.	
Evergreen Shrubs					
JUCK	88	KALLAY COMPACT JUNIPER	Juniperus chinensis 'Kallay'	30" Ht.	
TAXC	4	CAPITATA UPRIGHT 'YEW'	Taxus cuspidata 'Capitata'	48" Ht.	
TAXD	11	DENSE INTERMEDIATE YEW	Taxus x media 'Densiformis'	30" Ht.	
Ornamental Grasses					
CALB	72	KOREAN FEATHER REED GRASS	Calamagrostis brachytricha	#1	
CALK	314	FEATHER REED GRASS	Calamagrostis acutiflora 'Karl Forerster'	#1	
CHLA	89	NORTHERN SEA OATS	Chasmanthium latifolium	#1	
MISP	156	PURPLE MAIDEN GRASS	Miscanthus sinensis 'Purpurascens'	#1	
PEAH	63	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hamel'	#1	
SCSC	117	LITTLE BLUE STEM	Schizachyrium scoparium	#1	
Perennials					
CORZ	72	ZAGREB COREOPSIS	Coreopsis verticillata 'Zagreb'	Plug	Planted 16"-24" O.C.
GERR	137	ROZANNE GERANIUM	Geranium 'Rozanne'	#1	Planted 24"-36" O.C.
HESO	480	STELLA DE ORO DAYLILY	Hemerocallis 'Stella de Oro'	Plug	Planted 12"-18" O.C.
HOSH	96	HALCYON HOSTA	Hosta 'Halcyon'	#1	Planted 24"-36" O.C.
NEWL	54	WALKER'S LOW CATMINT	Nepeta racemosa 'Walker's Low'	#1	Planted 24"-36" O.C.
Groundcovers					
PACH	143	JAPANESE SPURGE	Pachysandra terminalis 'Green carpet'	Plug	Planted 12" O.C.

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AUG 25 2017

VILLAGE OF
BARTLETT



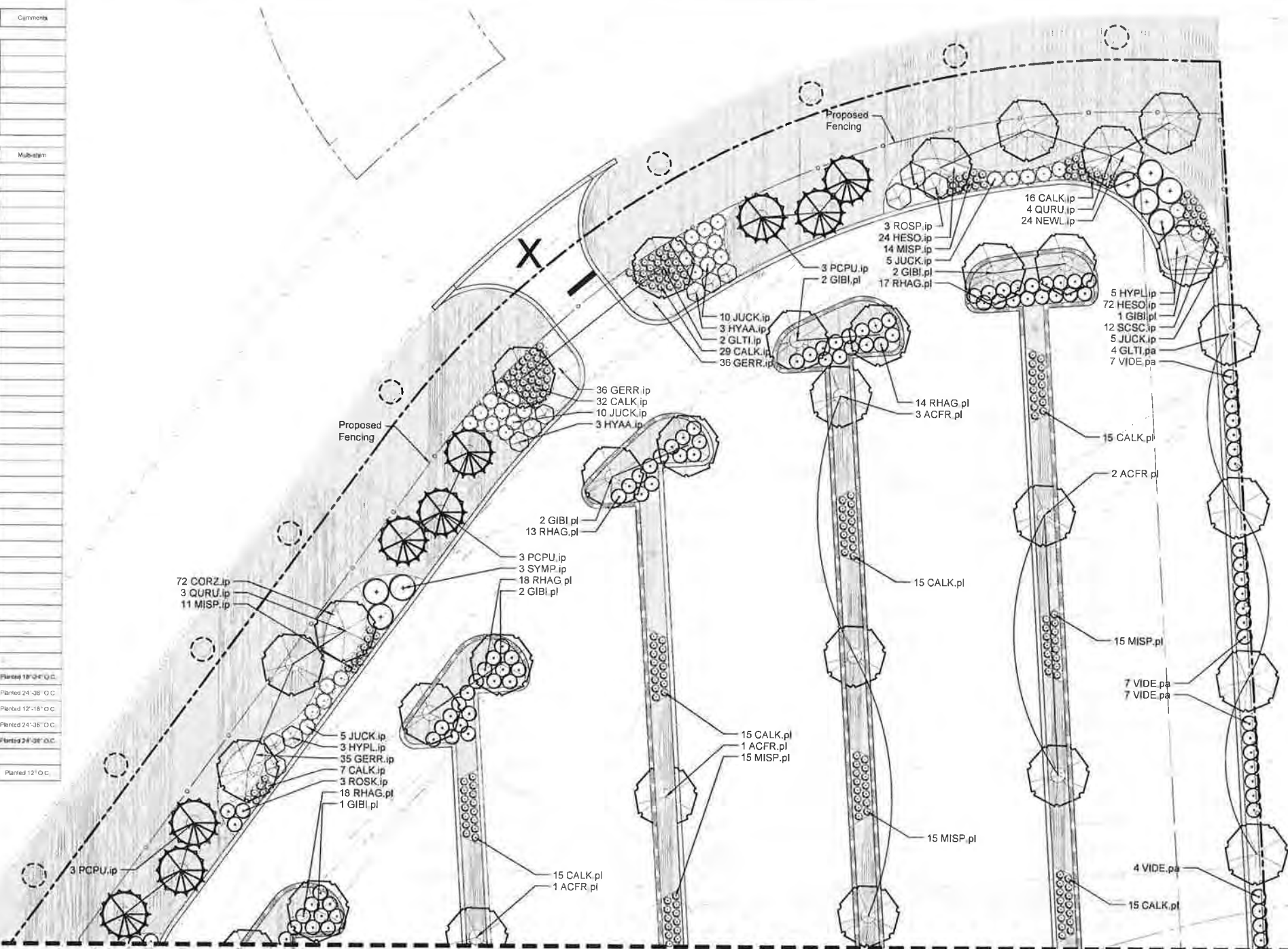
RANA MEAL SOLUTIONS BUILD-TO-SUIT
 VILLAGE OF BARTLETT, ILLINOIS
 LANDSCAPE SUMMARY

PROJ. MGR.: JPD
 PROJ. ASSOC.: JMI
 DRAWN BY: MN
 DATE: 6/05/17
 SCALE: AS NOTED
 SHEET
L1 OF **L8**
 G0GBUL

Manhard
 CONSULTING LTD.
 700 Brainerd Drive, Lombard, IL 60148 PH: 630.881.8500 FAX: 630.881.8585
 Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
 Construction Managers • Environmental Scientists • Landscape Architecture • Planners

PENDING APPROVAL/NOT FOR CONSTRUCTION USE

Key	Quantity	Common Name	Botanical Name	Size	Comments
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QURU	10	RED OAK	Quercus rubra	2.5' BB	
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HYLL	34	LITTLE LIME HYDRANGEA	Hydrangea Little Lime	30" H	
HYPL	19	LIME LIGHT HYDRANGEA	Hydrangea paniculata Lime Light	30" H	
HYGM	12	MUNCHKIN OAKLEAF HYDRANGEA	Hydrangea quercifolia Munchkin	24" H	
PHCD	3	EASTERN HAZELBARK	Physocarpus opulifolius Diabolo	30" H	
RHAG	183	GRO-LOW SUMAC	Rhus aromatica Gro-Lo	24" H	
ROSK	16	KNOCKOUT SHRUB ROSE	Rosa Knockout	30" H	
ROSP	11	PURPLE PAVEMENT ROSE	Rosa rugosa Purple Pavement	30" H	
SORR	27	FALSE SPIREA	Spiraea toritosa Semi	30" H	
SYMP	8	ORANGE KOREAN LILAC	Syringa meyeri Palom	30" H	
VIDE	97	ARROWWOOD VIBURNUM	Viburnum aceratum	48" H	
Evergreen Shrubs					
JUCK	88	KALLEY COMPACT JUNIPER	Juniperus chinensis Kalley	30" H	
TAXC	4	CAPITATA UPRIGHT YEW	Taxus cuspidata Capitata	48" H	
TAXM	11	DENSE INTERMEDIATE YEW	Taxus media Genesee	30" H	
Ornamental Grasses					
CALB	72	KOREAN FEATHER REED GRASS	Calamagrostis arachnoides	#1	
CALK	314	FEATHER REED GRASS	Calamagrostis acutiflora 'Karl Foerster'	#1	
CHLA	89	NORTHERN SEA OATS	Chloranthus liliifolius	#1	
MISP	156	PURPLE MAIDEN GRASS	Miscanthus sinensis Purple Princess	#1	
PEAH	63	DWARF FOUNTAIN GRASS	Pennisetum alpinum 'Hansel'	#1	
SCSC	117	LITTLE BLUE STEM	Scirpocotyledon scoparium	#1	
Perennials					
CORZ	72	ZAGREB COREOPSIS	Coneopsis verticillata Zagreb	Plug	Planted 18" O.C.
GERR	137	ROZANNE GERANIUM	Geranium Rozanne	#1	Planted 24" O.C.
HESO	460	STELLA DE ORO DAYLILY	Hemerocallis Stella de Oro	Plug	Planted 12" O.C.
HOSH	85	HALEIGH HOSTA	Hosta Haleigh	#1	Planted 24" O.C.
NEWL	54	WALKER'S LOW CATMINT	Nepeta racemosa Walker's Low	#1	Planted 24" O.C.
Groundcovers					
PACH	143	JAPANESE SPURGE	Pachysandra terminalis Green Carpet	Plug	Planted 12" O.C.



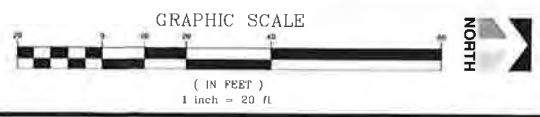
MATCHLINE SEE SHEET L3

Existing tree to be preserved. Protect with construction fencing at a 4' radius from trunk unless noted otherwise on plan. See Sheet L7, Detail 7.
 Existing tree to be removed for construction.
 Note: 33 Existing trees to be preserved 2 Existing trees to be removed

SEAL

Glenn M. Christensen, ASLA, RLA
 Illinois Registered Landscape Architect # 157-000223

Julie
 Mulrooney
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PROJECT: VILLAGE OF BARTLETT, ILLINOIS
 SHEET: L2 OF L8
 DATE: 6/05/17
 SCALE: 1:20
 DRAWN BY: MN
 PROJ. ASSOC.: JM
 PROJ. MGR.: JPD
 GDCBUIL

PENDING APPROVAL/NOT FOR CONSTRUCTION USE

MATCHLINE SEE SHEET L2

MATCHLINE SEE SHEET L4

MATCHLINE SEE SHEET L5

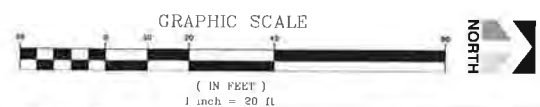
BREWSTER CREEK BOULEVARD

Code	Quantity	Plant Name	Latin Name	Size	Comments
1	60	HESO	Hydrangea paniculata	10' x 12'	ip
2	1	GLTI	Gladiolus terminalis	10' x 12'	pl
3	13	ROSK	Rosa rugosa	10' x 12'	ip
4	1	GLTI	Gladiolus terminalis	10' x 12'	ip
5	10	CALK	Calluna vulgaris	10' x 12'	ip
6	4	QUMC	Quercus macrocarpa	10' x 12'	ip
7	3	HYPL	Hydrangea paniculata	10' x 12'	ip
8	52	SCSC	Scilla maritima	10' x 12'	ip
9	1	QUMC	Quercus macrocarpa	10' x 12'	pl
10	1	QURU	Quercus robur	10' x 12'	pl
11	15	CALK	Calluna vulgaris	10' x 12'	ip
12	16	RHAG	Rhus glabra	10' x 12'	ip
13	7	JUCK	Juncus communis	10' x 12'	ip
14	20	NEWL	Neulandia	10' x 12'	ip
15	15	MISP	Miscanthus sinensis	10' x 12'	pl
16	16	RHAG	Rhus glabra	10' x 12'	pl
17	2	GIBI	Gibberna	10' x 12'	pl
18	1	ACFR	Acacia saligna	10' x 12'	pl
19	15	CALK	Calluna vulgaris	10' x 12'	pl
20	2	ACFR	Acacia saligna	10' x 12'	pl
21	15	MISP	Miscanthus sinensis	10' x 12'	pl
22	1	GLTI	Gladiolus terminalis	10' x 12'	pl
23	9	SCSC	Scilla maritima	10' x 12'	ip
24	3	EUCO	Eucalyptus	10' x 12'	ip
25	7	CALK	Calluna vulgaris	10' x 12'	ip
26	10	NEWL	Neulandia	10' x 12'	ip
27	8	HYLL	Hydrangea paniculata	10' x 12'	ip
28	2	GIBI	Gibberna	10' x 12'	pl
29	9	SCSC	Scilla maritima	10' x 12'	ip
30	6	JUCK	Juncus communis	10' x 12'	ip
31	1	CARC	Carex	10' x 12'	ip
32	23	PEAH	Pea	10' x 12'	fn
33	19	BDBC	Berberis	10' x 12'	fn
34	12	HYQM	Hydrangea	10' x 12'	fn
35	48	HESO	Hydrangea paniculata	10' x 12'	fn
36	12	HYLL	Hydrangea paniculata	10' x 12'	fn
37	36	HESO	Hydrangea paniculata	10' x 12'	fn
38	11	CALB	Calluna	10' x 12'	fn
39	13	HOSH	Hosh	10' x 12'	fn
40	10	CALB	Calluna	10' x 12'	fn
41	10	CALB	Calluna	10' x 12'	fn
42	13	HOSH	Hosh	10' x 12'	fn
43	10	CHLA	Chamaelirium	10' x 12'	fn
44	10	CHLA	Chamaelirium	10' x 12'	fn
45	1	GLTI	Gladiolus terminalis	10' x 12'	pa
46	7	VIDE	Vide	10' x 12'	pa
47	1	GLTI	Gladiolus terminalis	10' x 12'	pa
48	48	HESO	Hydrangea paniculata	10' x 12'	fn
49	3	PHOD	Phod	10' x 12'	fn
50	11	MISP	Miscanthus sinensis	10' x 12'	fn
51	4	HYEB	Hydrangea	10' x 12'	fn
52	5	QUWL	Quercus	10' x 12'	ip
53	4	JUCK	Juncus communis	10' x 12'	fn

- Existing tree to be preserved. Protect with construction fencing at a 4' radius from trunk unless noted otherwise on plan. See Sheet L7, Detail 7.
- Existing tree to be removed for construction.

Note: 33 Existing trees to be preserved 2 Existing trees to be removed

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Glenn M. Christensen, ASLA, RLA
Illinois Registered Landscape Architect # 157-000223



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RANA MEAL SOLUTIONS BUILD-TO-SUIT
 VILLAGE OF BARTLETT, ILLINOIS
 LANDSCAPE PLAN

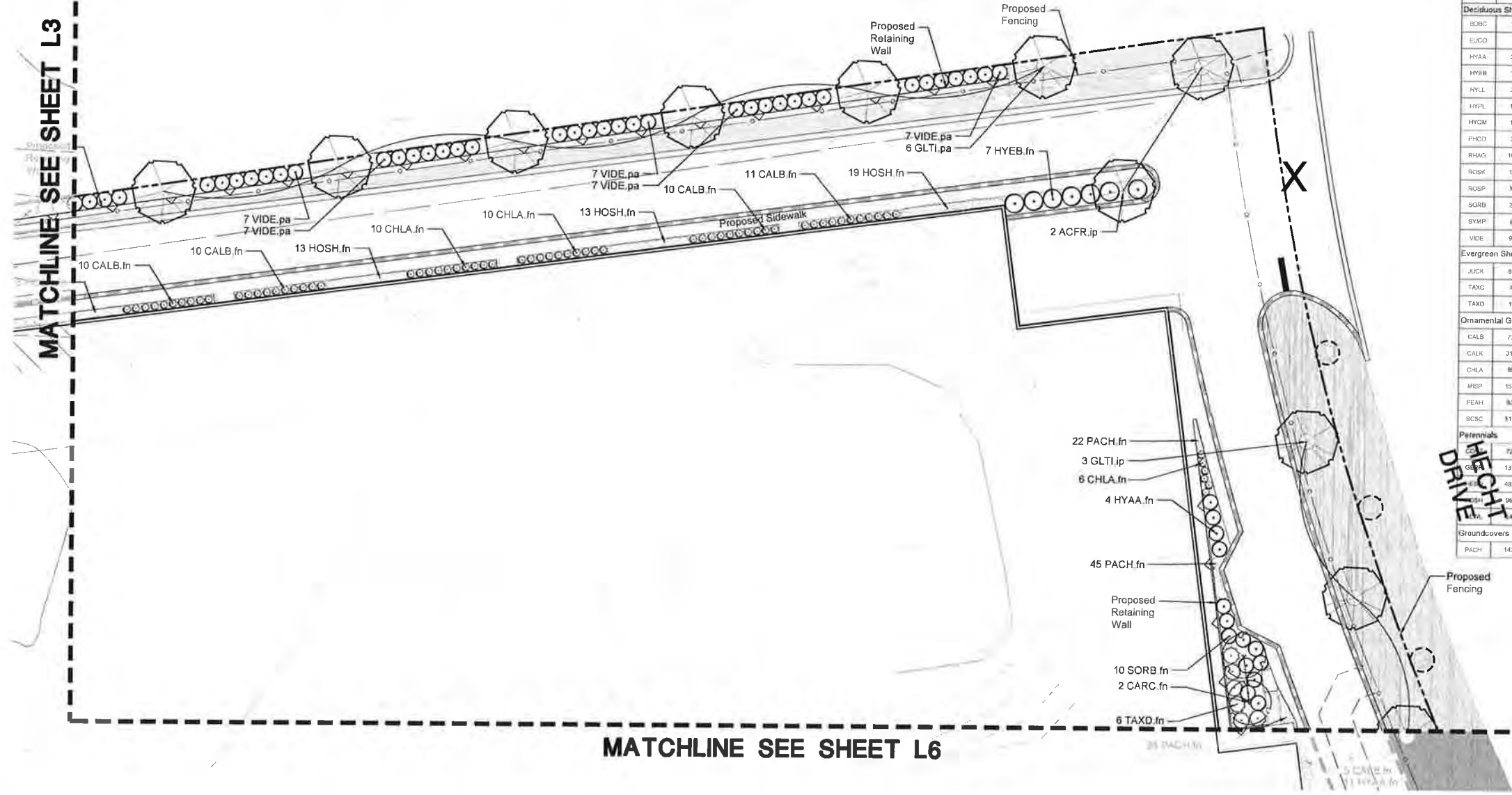
PROJECT NO. JPD
 PROJ. NO. JMI
 DRAWN BY: MN
 DATE: 8/25/17
 SCALE: 1/20

SHEET
L3 OF **L8**



GDGBLL

PENDING APPROVAL/NOT FOR CONSTRUCTION USE

MATCHLINE SEE SHEET L3



MATCHLINE SEE SHEET L6

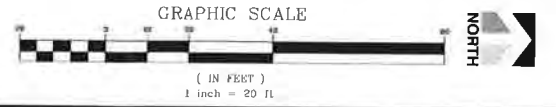
-  Existing tree to be preserved. Protect with construction fencing at a 4' radius from trunk unless noted otherwise on plan. See Sheet L7, Detail 7.
 -  Existing tree to be removed for construction.
- Note: 33 Existing trees to be preserved 2 Existing trees to be removed

Key	Quantity	Common Name	Botanical Name	Site	Comments
Canopy Trees					
ACFR	21	AUTUMN GLAZE WATTLE	Aucuba japonica	2.5' BB	
GIBI	23	GINKGO (MALE)	Ginkgo biloba 'Autumn Gold'	2.5' BB	
GLTI	34	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Inermis'	2.5' BB	
QUAC	8	BUR OAK	Quercus macrocarpa	2.5' BB	
QURU	10	RED OAK	Quercus rubra	2.5' BB	
QUAL	5	REGAL PRINCE OAK	Quercus & walteri Long	2.5' BB	
Ornamental Trees					
CARC	3	MUSCLEWOOD	Carpinus caroliniana	5' BB	Multi-stem
Evergreen Trees					
JUFV	5	UPRIGHT JUNIPER	Juniperus horizontalis	6' BB	
PCAB	8	NORWAY SPRUCE	Picea abies	5' BB	
PCPU	14	COLORADO BLUE SPRUCE	Picea colorata	6' BB	
PIST	1	WHITE PINE	Pinus strobus	6' BB	
Deciduous Shrubs					
BDRC	19	BLUE CHIP BUTTERFLY BUSH	Buddleia davidii 'Blue Chip'	24" Ht.	
ELCD	3	DWARF BURNING BUSH	Eurotyia 'Compacta'	30" Ht.	
HYAA	22	ANNABELLE HYDRANGEA	Hydrangea arborescens 'Annabelle'	30" Ht.	
HYEB	11	BLOOMSTRUCK ENDLESS SUMMER HYDRANGEA	Hydrangea macrophylla 'Bloomstruck'	30" Ht.	
HYLL	34	LITTLE LIME HYDRANGEA	Hydrangea Little Lime	30" Ht.	
HYPL	18	LIMELIGHT HYDRANGEA	Hydrangea paniculata 'LimeLight'	30" Ht.	
HYOM	12	MUNCHKIN OAKLEAF HYDRANGEA	Hydrangea quercifolia 'Munchkin'	24" Ht.	
PHOD	3	EASTERN NINEBARK	Physocarpus opulifolius 'Diable'	30" Ht.	
RHAG	153	GRO-LOW SUMAC	Rhus aromatica 'Gro-low'	24" Ht.	
ROSK	16	KNOCOUT SHRUB ROSE	Rosa Knockout	30" Ht.	
ROSP	11	PURPLE PAVEMENT ROSE	Rosa rugosa 'Purple Pavement'	30" Ht.	
SORR	27	FALSE SPINEA	Sorbaria sorbifolia 'Serr'	30" Ht.	
SYMP	8	DWARF KOREAN LILAC	Syringa meyeri 'Palibai'	30" Ht.	
VIDE	97	ARROWWOOD VIBURNUM	Viburnum dentatum	48" Ht.	
Evergreen Shrubs					
JUCK	88	KALLAY COMPACT JUNIPER	Juniperus chinensis 'Kallay'	30" Ht.	
TAXC	4	CAPITATA UPRIGHT YEW	Taxus cuspidata 'Capitata'	48" Ht.	
TAXD	11	DENSE INTERMEDIATE YEW	Taxus media 'Denstonia'	30" Ht.	
Ornamental Grasses					
CALB	72	KOREAN FEATHER REED GRASS	Calamagrostis brachylocha	#1	
CALK	214	FEATHER REED GRASS	Calamagrostis canadensis 'Nail Forester'	#1	
CHLA	88	NORTHERN SEA OATS	Chloranthum latifolium	#1	
MISP	155	PURPLE MAIDEN GRASS	Miscanthus sinensis 'Purpleascens'	#1	
PEAH	83	DWARF FOXTAIL GRASS	Helianthus scopulorum 'Hansel'	#1	
SCSC	117	LITTLE BLUE STEM	Scirpocyperus scoparium	#1	
Perennials					
GEAR	72	ZINOBEL COREOPSIS	Coreopsis verticillata 'Zigeb'	Plug	Planted 18" x 24" O.C.
	137	ROZANNE GERANIUM	Geranium 'Rozanne'	#1	Planted 24" x 36" O.C.
	480	STELLA DE ORO DAGLKY	Hemerocallis 'Stella de Oro'	Plug	Planted 12" x 18" O.C.
	96	HALCYON HOSTA	Hosta 'Halcyon'	#1	Planted 24" x 36" O.C.
	81	WALKER'S LIZARD TAIL	Nepeta racemosa 'Walker's Liar'	#1	Planted 24" x 36" O.C.
Groundcovers					
PACH	143	JAPANESE SPURGE	Pachysandra terminalis 'Green Carpet'	Plug	Planted 12" O.C.

DRIVE HECHT

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 VILLAGE OF BARTLETT, ILLINOIS
 LANDSCAPE PLAN

SHEET
L4 OF L8
 GDGBLL

PROJ. MGR.: JPD
 PROJ. ASST.: JMI
 DRAWN BY: MN
 DATE: 8/05/17
 SCALE: 1:20

SHEET
L4 OF L8
 GDGBLL

PENDING APPROVAL/NOT FOR CONSTRUCTION USE

MATCHLINE SEE SHEET L3

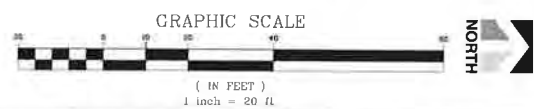
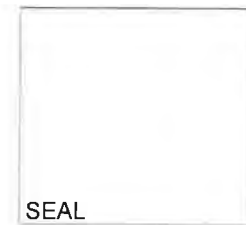
MATCHLINE SEE SHEET L6

Key	Quantity	Common Name	Botanical Name	Size	Comments
Canopy Trees					
ACFR	21	AUTUMN BLAZE MAPLE	Acer dasycarpum	2 3/4" DB	
GBI	23	GINKGO (MALE)	Ginkgo biloba - Autumn Gold	2 3/4" DB	
GLTI	34	SKYLINE HONEYLOCUST	Quercus bicolor	2 5/8" DB	
QUMC	6	BUR OAK	Quercus macrocarpa	2 3/4" DB	
QRU	10	RED OAK	Quercus lyrata	2 3/4" DB	
QJML	5	REGAL PRINCE OAK	Quercus x variata Long	2 5/8" DB	
Ornamental Trees					
CARC	3	MUSCLEWOOD	Carpinus caroliniana	6" DB	Mulberry
Evergreen Trees					
JUFV	6	UPRIGHT JUNIPER	Juniperus horizontalis	6" DB	
PCAB	8	NORWAY SPRUCE	Picea abies	8" DB	
PCPU	14	COLORADO BLUE SPRUCE	Picea canadensis	8" DB	
PIST	1	WHITE PINE	Pinus strobus	6" DB	
Deciduous Shrubs					
BBDC	19	BLUE CHIP BUTTERFLY BUSH	Buddleia davidii Blue Chip	24" H	
ELCO	3	DWARF BURNING BUSH	Eurotia amurensis	30" H	
HYAA	22	ANEMONE HYDRANGEA	Hydrangea arborescens Anemone	30" H	
HYEB	11	BLOOMING ROCK ENDLESS SUMMER HYDRANGEA	Hydrangea macrophylla Bloomerang	30" H	
HYLL	24	LITTLE LIME HYDRANGEA	Hydrangea 'Little Lime'	30" H	
HYPL	19	LIVELIGHT HYDRANGEA	Hydrangea paniculata 'Limelight'	30" H	
HYGM	12	MUNCHKIN OAKLEAF HYDRANGEA	Hydrangea serrata Munchkin	24" H	
PHOD	3	EASTERN NINEBARK	Physocarpus opulifolius Diabolo	30" H	
RHAG	183	DWARF LOW SUMAC	Rhus aromatica Glow Low	24" H	
ROSK	16	ANDROMEDA SHRUB ROSE	Rosa 'Knockout'	30" H	
ROSP	11	PURPLE PAVEMENT ROSE	Rosa rugosa Purple Pavement	30" H	
SORB	27	FALSE SPINEA	Sorbaria sorbifolia 'Sem'	30" H	
SYMP	6	DWARF KOREAN LILAC	Syringa meyeri Palen	30" H	
VIDE	97	ARROWWOOD VIBURNUM	Viburnum dentatum	48" H	
Evergreen Shrubs					
JUCK	88	KALLAY COMPACT JUNIPER	Juniperus chinensis Kallay	30" H	
TAXC	8	CAPITATA UPRIGHT YEW	Taxus cuspidata Capitata	48" H	
TAXD	11	DENSE INTERMEDIATE YEW	Taxus media Denisota	30" H	
Ornamental Grasses					
CALB	72	KOREAN FEATHER REED GRASS	Calamagrostis brachytricha	#1	
CALX	314	FEATHER REED GRASS	Calamagrostis acutiflora 'Karl Foerster'	#1	
CHLA	89	NORTHERN SEA OATS	Chloranthum latifolium	#1	
WISP	155	PURPLE WAGON GRASS	Macaranga sinensis 'Purple Wagon'	#1	
PCAH	63	DWARF FOUNTAIN GRASS	Pennisetum alpinum 'Hanski'	#1	
SCSC	117	LITTLE BLUE STEM	Schizachyrium scoparium	#1	
Perennials					
CORZ	72	ZAGREB COREOPSIS	Coresopsis verticillata Zagreb	#1kg	Planted 18" x 24" O.C.
GERR	137	ROZANNE GERANIUM	Geranium Rozanne	#1	Planted 24" x 36" O.C.
HESO	486	STELLA DE ORO DAYLILY	Hemerocallis 'Stella de Oro'	#1kg	Planted 12" x 18" O.C.
HOSH	96	HALCYON HOSTA	Hosta 'Halcyon'	#1	Planted 24" x 36" O.C.
NEWL	54	WALKER'S LOW CATMINT	Nepeta racemosa Walker's Low	#1	Planted 24" x 36" O.C.
Groundcovers					
PACH	143	JAPANESE SPURGE	Pachysandra terminalis Green Carpet	Plug	Planted 12" O.C.

Existing tree to be preserved. Protect with construction fencing at a 4' radius from trunk unless noted otherwise on plan. See Sheet L7, Detail 7.

Existing tree to be removed for construction.

Note: 33 Existing trees to be preserved. 2 Existing trees to be removed.



BREWSTER CREEK BOULEVARD

3 PCAB.jp
35 CALK.fn
17 JUCK.fn
108 HESO.fn

3 GLTI.jp
17 SORB.fn
3 PCAB.jp
6 JUCK.fn

1 GLTI.fn

4 VIDE.fn
3 HYPL.fn
5 PCPU.fn
11 SCSC.fn

7 HYAA.fn
11 SCSC.fn
3 VIDE.fn
48 HESO.fn

1 PIST.fn
3 ROSP.fn
12 RHAG.fn
40 PEAH.fn

DATE	9/25/17	PER. VILLAGE COMMENTS
DATE	7/25/17	PER. VILLAGE COMMENTS

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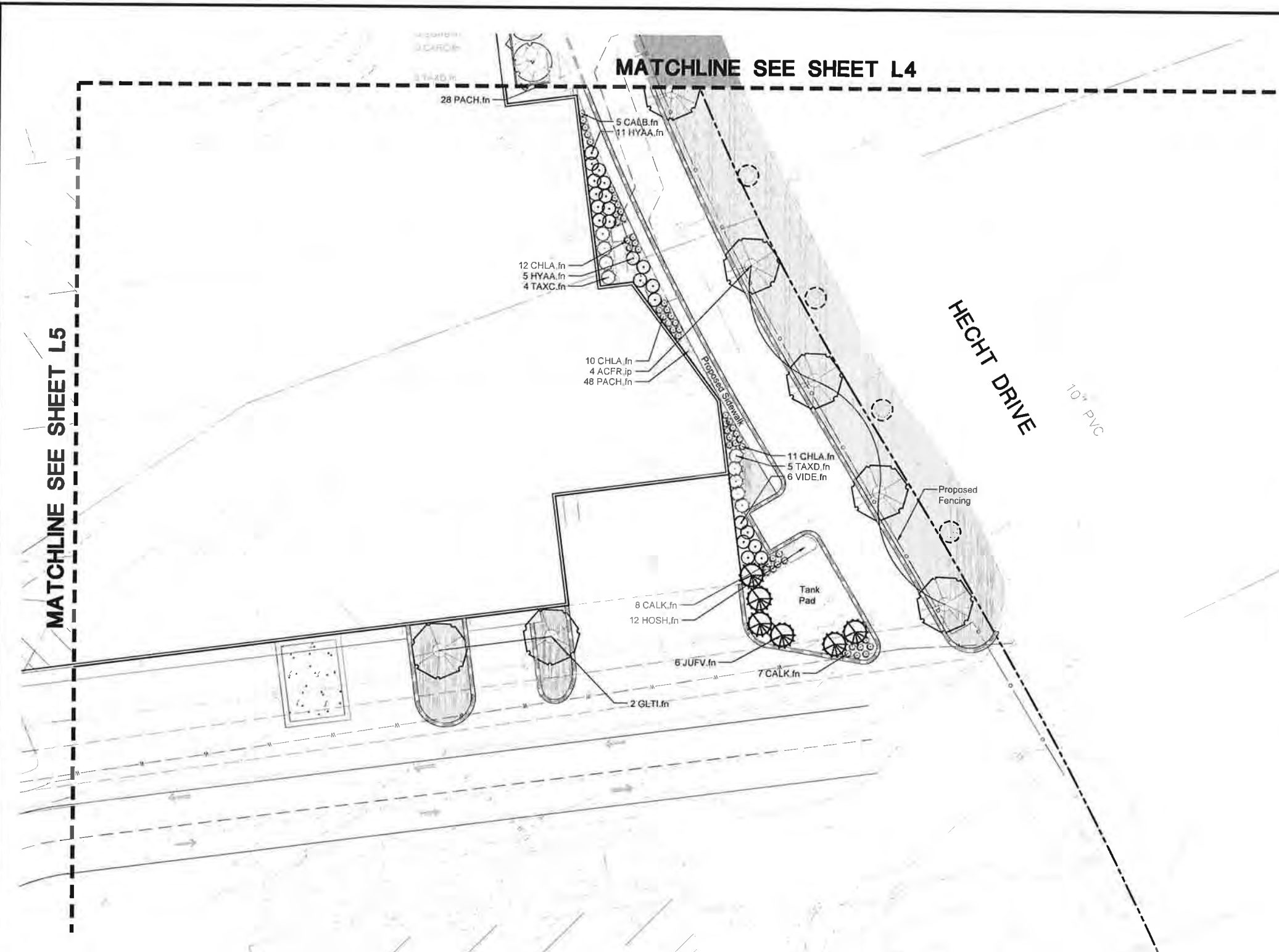
RANA MEAL SOLUTIONS BUILD-TO-SUIT
VILLAGE OF BARTLETT, ILLINOIS
LANDSCAPE PLAN

PROJ. NO.: 17-010
PROJ. ASSOC.: JMI
DRAWN BY: MN
DATE: 6/05/17
SCALE: 1/20
SHEET
L5 OF L8
GDGBUL

PENDING APPROVAL/NOT FOR CONSTRUCTION USE

MATCHLINE SEE SHEET L4

MATCHLINE SEE SHEET L5



- Existing tree to be preserved. Protect with construction fencing at a 4' radius from trunk unless noted otherwise on plan. See Sheet L7, Detail 7.
 - Existing tree to be removed for construction.
- Note: 33 Existing trees to be preserved. 2 Existing trees to be removed.

Key	Quantity	Common Name	Botanical Name	Size	Comments
Canopy Trees					
ACFR	21	AUTUMN BLAZE MAPLE	Acer freemanii	2.5' BB	
GIBI	23	GINKGO (MALE)	Ginkgo biloba 'Autumn Gold'	2.5' BB	
DLTI	34	SKYLINE HONEYLOCUST	Gleditsia inaequalis 'Inermis'	2.5' BB	
QUOC	6	BUR OAK	Quercus macrocarpa	2.5' BB	
QURU	10	RED OAK	Quercus rubra	2.5' BB	
QUAL	8	REGAL PRINCE OAK	Quercus x warei 'Long'	2.5' BB	
Ornamental Trees					
CAAC	3	MUSCLEWOOD	Caprinia canadensis	6' BB	Multi-trunk
Evergreen Trees					
JUVV	4	UPRIGHT JUNIPER	Juniperus 'Wanycreeper'	6' BB	
PCAB	6	NORWAY SPRUCE	Picea abies	6' BB	
PCPU	14	COLORADO BLUE SPRUCE	Picea pungens	6' BB	
PST	1	WHITE PINE	Pinus strobus	6' BB	
Deciduous Shrubs					
BDBC	19	BLUE CHIP BUTTERFLY BUSH	Buddleia davidii 'Blue Chip'	24" H	
ELCO	3	DWARF BURNING BUSH	Elyonima a 'Compacta'	39" H	
HYAA	22	ANNABELLE HYDRANGEA	Hydrangea arborescens 'Annabelle'	30" H	
HYEB	11	BLOOMSTRUCK ENDLESS SUMMER HYDRANGEA	Hydrangea macrophylla 'Bloomstruck'	30" H	
HYLL	34	LITTLE LIME HYDRANGEA	Hydrangea 'Little Lime'	39" H	
HYPL	19	LIVELIGHT HYDRANGEA	Hydrangea paniculata 'LimeLight'	30" H	
HYOM	12	MUNCHKIN OAKLEAF HYDRANGEA	Hydrangea quercifolia 'Munchkin'	24" H	
PHOD	3	EASTERN NINEBARK	Physocarpus opulifolius 'Diablo'	30" H	
RHAG	143	GRANDLOW SUMING	Rhus aromatica 'Glow-Low'	24" H	
RDSK	15	KNOCKOUT SHRUB ROSE	Rosa 'Knockout'	30" H	
ROSP	11	PURPLE PAVEMENT ROSE	Rosa rugosa 'Purple Pavement'	30" H	
SORB	27	FALSE SPIREA	Sorbaria sorbifolia 'Sem'	39" H	
SYMP	6	DWARF KOREAN LILAC	Syringa meyeri 'Palmer'	30" H	
VIDE	97	ARROWWOOD VIBURNUM	Viburnum dentatum	45" H	
Evergreen Shrubs					
JUCK	88	KALLEY COMPACT JUNIPER	Juniperus chinensis 'Kalley'	30" H	
TAXC	4	CAPITATA UPRIGHT YEW	Taxus cuspidata 'Capitata'	48" H	
TAXD	11	DENSE INTERMEDIATE YEW	Taxus media 'Denselance'	37" H	
Ornamental Grasses					
CALB	72	KOREAN FEATHER REED GRASS	Calamagrostis trachylocha	#1	
CAUK	314	FEATHER REED GRASS	Calamagrostis acutiflora 'Karl Foerster'	#1	
CHLA	89	NORTHERN SEA OATS	Chasmodon latifolium	#1	
MISP	156	PURPLE MAIDEN GRASS	Miscanthus sinensis 'Purple Scissors'	#1	
PEAH	53	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	#1	
SCSC	113	LITTLE BLUE STEM	Setochyrium scoparium	#1	
Perennials					
CORZ	72	ZACHES COREOPSIS	Coneopsis verticillata 'Zigzag'	Plg	Planted 18"-24" O.C.
GERR	137	ROCKWAVE GERANIUM	Geranium 'Rozanne'	#1	Planted 24"-36" O.C.
HESD	480	ETELLA DE ORO DAYLILY	Hemerocallis 'Stella de Oro'	Plg	Planted 12"-18" O.C.
HOSH	98	MALCOLM HOSTA	Hosta 'Malcolm'	#1	Planted 24"-36" O.C.
NEVL	54	WALKER'S LOW CATWING	Nigella arvensis 'Walker's Low'	#1	Planted 24"-36" O.C.
Groundcovers					
PACH	143	JAPANESE SPRUCE	Pachysandra terminalis 'Green Carpet'	Plg	Planted 12" O.C.

SEAL
Glenn M Christensen, ASLA, RLA
Illinois Registered Landscape Architect # 157-000223

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GRAPHIC SCALE

1 inch = 20 feet

NORTH

Manhard
CONSULTING

700 Springfield Drive, Lombard, IL 60148
Cell: 630.871.8500 Fax: 630.871.8595
Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers
Construction Managers • Environmental Scientists • Landscape Architects • Planners

RANA MEAL SOLUTIONS BUILD-TO-SUIT
VILLAGE OF BARTLETT, ILLINOIS
LANDSCAPE PLAN

PROJ. NO.: PD
PROJ. ASSOC.: MI
DRAWN BY: MN
DATE: 5/05/17
SCALE: 1:20

SHEET
L6 OF **L8**
GDGBLL

PENDING APPROVAL/NOT FOR CONSTRUCTION USE

COMMUNITY DEVELOPMENT MEMORANDUM

17-174

DATE: August 30, 2017
TO: The Chairman and Members of the Zoning Board of Appeals
FROM: Angela L Zubko, Community Development Planner
RE: **(#17-17) 802 E. Devon Avenue Addition**

PETITIONER

Dimitri Pouloukefalos

SUBJECT SITE

802 E. Devon Avenue, about 0.8 miles east of Newport Boulevard (formerly the Main Steel building)

REQUESTS

Variation:
To reduce the number of required parking spaces from 140 to 95

SURROUNDING LAND USES

	<u>Land Use</u>	<u>Comprehensive Plan</u>	<u>Zoning</u>
Subject Site	Industrial	Industrial	I-1
North	Industrial	Streamwood- Industrial	I-2 PUD*
South	Single Family Residential	Suburban Residential	SR-4
East	Industrial	Industrial	SR-6 PUD
West	Multi-Family Residential	Attached Residential	I-1

* Village of Streamwood- General Industrial District

ZONING HISTORY

The subject property was annexed to the Village in 1963 and was zoned R-1 (Single Family Residence District) by Ordinance #1963-17. The Bartlett Industrial Park Subdivision was approved on February 27, 1969 by Ordinance #1969-06 creating 5 industrial lots zoned Mg (Manufacturing District).

The current building was built in 1969 with additions added in 1986 and 1988 (see attached site plans).

In 1987 a variation was granted per Ordinance #1987-73 for a 25 foot variation from the 50 foot required transitional side yard adjoining a residence. When the building was built in 1969 the side yard requirement was 10 feet. In 1978, through a text amendment, the property to the west was re-classified as SR-6 Multi-Family District. The 1978 re-classification created a new side yard setback of 50 feet pursuant to the Village Code. Therefore, through no fault of the petitioner, the building was considered legal non-conforming and a variation was granted to allow a 25 foot variation from the 50 foot requirement.

The Village Board was made aware of the future additions to this site when it came to the Village Board on July 19, 2016 requesting support from the Village of Bartlett for the Class 6B Reclassification incentive from Cook County.

This building has been vacant since Main Steel vacated the building in 2011.

CURRENT DISCUSSION

1. The Petitioner is requesting a Third Site Plan Amendment for the existing 52,182 square foot industrial building to add an additional 67,735 square feet on a 6.78 acre lot in the Bartlett Industrial Park. This building would be constructed for four future tenants. *(The Third Site Plan Amendment will be discussed by the Plan Commission at their meeting on September 14, 2017.)*
2. The proposed building additions will be constructed of red masonry walls with darker red accents. The four proposed office areas will be located on the east side of the building. The building has three heights, 25'-3", 32'-0" and 37'-2", all below the 45' height maximum per the Zoning Ordinance.
3. A building permit has been issued for a partial exterior remodel, roof repair and partial demolition. Work has already commenced and new brick has been added to the south and west elevations and two portions of the warehouse have been removed.
4. The petitioner is requesting a Special Use Permit to disturb the wetland located in the northeast corner of the site. An application to the Army Corps of Engineers has been submitted, and Staff is waiting for the report. *(The Special Use will be discussed by the Plan Commission at their meeting on September 14, 2017.)*
5. The Site Plan shows 13 exterior docks on the east side of the building and 1 drive-in door on the north side of the building to be utilized for building maintenance, not day-to-day operations. All the docks are facing away from the residential zoning districts.
6. The existing curb cut off E. Devon Avenue will be widened and utilized for all site traffic, passenger cars and trucks.

7. The petitioner is requesting a **Variation** to allow a reduction in the number of required parking spaces from 140 to 95 parking spaces. The Site Plan identifies 95 parking spaces, including four (4) handicapped accessible spaces. The Zoning Ordinance requires 112 spaces for the warehouse and 28 parking spaces for the office space totaling 140 parking spaces for this use. **The plan however shows 51 future parking spaces, which would increase the total parking provided on the site to 146 spaces and if constructed would meet the Zoning Ordinance requirements.** There are also 6 truck future parking spaces available on the north side of the building if a future tenant would need truck parking rather than automobile parking.
8. A Landbank/Future Parking Agreement is currently being drafted by the owner which will include the following language to require the Petitioner to install the landbanked/future parking spaces:
 - a) Upon the Staff's inspection of the site, it is clear that tenants and/or visitors are not parking in a designated parking space.
The petitioner will be required to post a bond, letter of credit or cash as a surety with the Village as a Performance Guarantee that the landbanked parking area with islands and striping will be installed.
9. The Engineering and Landscape Plan are currently under Staff Review.

RECOMMENDATION

According to the provisions of the Zoning Ordinance, the Zoning Board of Appeals should render a decision based upon the following:

- A. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.
- B. That conditions upon which the petition for variations are based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.
- C. That the purpose of the variations are not based exclusively upon a desire to make money out of the property.
- D. That the alleged difficulty or hardship is caused by the provision of this Title and has not been created by any person presently having an interest in the property.
- E. That the granting of the variations will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.

- F. That the proposed variations will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.

- G. That the granting of the variances requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

Variations shall be recommended only if the evidence, in the judgment of the Board of Appeals, sustains all the conditions enumerated above.

Background information is attached for your review and consideration.

alz/attachments

x:\comdev\mem2017\174_Dimitri 802 E. Devon Avenue_zba.docx

S.K.I.

ARCHITECTURE

1645 W OGDEN AVE SUITE 523 CHICAGO, IL 60612
C.S. 312.953.5142 cesarch_220@hotmail.com
B.K. 708.369.1614 bkkalala@comcast.net

March 23, 2017

Village President Kevin Wallace and Village Board of Trustees
Village of Bartlett, Illinois
228 S. Main Street
Bartlett, IL 60103

Re: Proposed Redevelopment of Existing Office/Warehouse Complex
802 E. Devon Ave.
Bartlett, IL 60103

Dear President Wallace and Members of the Board,

Please find attached our team's submittal for the proposed development project of the existing property at 802 W. Devon Avenue. The project consists of an expansion of an existing office/warehouse facility and related site improvements. We have been working with members of your Community Development Department and Planning and Zoning Department, as well as the Village Engineer to complete this project submittal for your review.

Our request includes a review of the development project and related Zoning Variations. Since the project is the renovation and expansion of an existing, vacated facility, we are seeking Zoning Variations to bring into conformance two existing, non-conforming conditions of encroachment of the existing building, parking and driveway areas into required front and side yard setbacks.

We welcome your input and look forward to working with you and your staff to complete a successful project.

Sincerely,



Charles Schwartz
Architect of Record
On behalf of the Development Team

RECEIVED
COMMUNITY DEVELOPMENT

JUN 01 2017

VILLAGE OF
BARTLETT



VILLAGE OF BARTLETT DEVELOPMENT APPLICATION

For Office Use Only
 Case # 17-17
 RECEIVED
 COMMUNITY DEVELOPMENT
 JUN 01 2017
 VILLAGE OF
 BARTLETT

PROJECT NAME B02 E. DEVON ADDITION

PETITIONER INFORMATION (PRIMARY CONTACT)

Name: DIMITRI POULOKEFALOS

Street Address: 27 CUTTER RUN

City, State: 32 S. BARRINGTON IL

Zip Code: 60010

Email Address: DPOULOS@ACTTAPES.COM

Phone Number: 630.327.6312

Preferred Method to be contacted: See Dropdown

PROPERTY OWNER INFORMATION

Name: DIMITRI POULOKEFALOS

Street Address: 27 CUTTER RUN

City, State: SOUTH BARRINGTON.

Zip Code: 60010

Phone Number: 630.327.6312

OWNER'S SIGNATURE: [Signature] Date: 3/17/17
 (OWNER'S SIGNATURE IS REQUIRED or A LETTER AUTHORIZING THE PETITION SUBMITTAL.)

ACTION REQUESTED (Please check all that apply)

- Annexation
- PUD (preliminary)
- PUD (final)
- Subdivision (preliminary)
- Subdivision (final)
- Site Plan (please describe use: commercial, industrial, square footage): SITE IMPROVEMENTS AND ADDITION (68,012 S.F.)
- Unified Business Center Sign Plan
- Other (please describe) _____
- Text Amendment
- Rezoning See Dropdown to See Dropdown
- Special Use for: _____
- Variation: SIDE, FRONT SETBACKS & PARKING.

SIGN PLAN REQUIRED? See Dropdown

(Note: A Unified Business Center Sign Plan is required for four or more individual offices or businesses sharing a common building entrance or private parking lot.)

PROPERTY INFORMATION

Common Address/General Location of Property: 802 E. DEYON AVE

Property Index Number ("Tax PIN"/"Parcel ID"): 06-35-400-009-0000

Zoning: Existing: See Dropdown I-1 Land Use: Existing: See Dropdown Industrial
(Refer to Official Zoning Map)
Proposed: See Dropdown I-1 Proposed: See Dropdown

Comprehensive Plan Designation for this Property: See Dropdown
(Refer to Future Land Use Map)

Acreage: 6.778

For PUD's and Subdivisions:

No. of Lots/Units: _____
Minimum Lot: Area _____ Width _____ Depth _____
Average Lot: Area _____ Width _____ Depth _____

APPLICANT'S EXPERTS (If applicable, including name, address, phone and email)

Attorney _____

Engineer BONO CONSULTING INC. CIVIL ENGINEERS
1018 BUSSE HIGHWAY PARK RIDGE IL 60068
847.823.3300

Other S.K.I ARCHITECTURE - CHARLES SCHWARTZ
1645 W. OGDEN AVE SUITE # 523
CHICAGO IL 60607 - 312.953.5142

FINDINGS OF FACT FOR SITE PLANS

Both the Plan Commission and Village Board must decide if the requested Site Plan meets the standards established by the Village of Bartlett Zoning Ordinance.

The Plan Commission shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Plan Commission and Village Board to review.)**

1. The proposed use is a permitted use in the district in which the property is located.

the proposed use of this project is a new warehouse/manufacturing facility, which is permitted in the I-1 Zoning district.

2. The proposed arrangement of buildings, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses.

The proposed arrangement of the building, parking, access, drainage, etc. for this project is based on the previously existing layout, and should have minimal disturbance to the surrounding parcels.

3. The vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

The vehicular ingress and egress to and from the site remains from the previously existing location. It provides for the most safe, efficient, and convenient movement of traffic feasible for this site.

4. The site plan provides for the safe movement of pedestrians within the site.

The site plan layout we have developed will provide for safe movement of pedestrians within the site. Pedestrian movement will be limited to mainly access to and from parking, which we attempted to isolate from the traffic route of trucks within the site.

5. There is sufficient mixture of grass, trees and shrubs within the interior and perimeter (including public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses and will provide a pleasing appearance to the public. Any part of the site plan area not used for buildings, structures, parking or accessways shall be landscaped with a mixture of grass, trees and shrubs. (All landscape improvements shall be in compliance with Chapter 10-11A, Landscape Requirements)

We have attempted to keep most of the existing sodded retention area on the south end of the site, and enhance the drainage culvert at the east end of the site to maintain and improve the landscaping conditions. In addition, we will add grass areas between the building and the parking area, and clear and improve the northeast corner of the site. Landscape improvements will conform to Chapter 10-11A of the Landscape Requirements.

6. All outdoor storage areas are screened and are in accordance with standards specified by this Ordinance.

There are no outdoor storage areas proposed on this site.

FINDINGS OF FACT FOR SPECIAL USES

Both the Plan Commission and Village Board must decide if the requested Special Use meets the standards established by the Village of Bartlett Zoning Ordinance.

The Plan Commission shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Plan Commission and Village Board to review.)**

1. That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

The proposed use of this project will develop, enhance, and expand the previously existing use of this site. The new warehouse/manufacturing facility will encourage economic growth, provide tax income, and bring business to the community. It will also provide much needed improvement to the subject site.

2. That such use will not under the circumstances of the particular case be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or be injurious to property value or improvement in the vicinity.

The proposed use will not be detrimental to the health, safety, morals, or general welfare of the community or neighboring properties. The improvements will be aesthetically pleasing and create improved and efficient site and building conditions, which will have a positive effect on the neighboring area and community.

3. That the special use shall conform to the regulations and conditions specified in this Title for such use and with the stipulation and conditions made a part of the authorization granted by the Village Board of Trustees.

The proposed use shall conform to the regulations and conditions specified for this use, and specifically for its stipulations and conditions, as authorized

FINDINGS OF FACT FOR VARIATIONS

Both the Zoning Board of Appeals and the Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Zoning Ordinance and if there is a practical difficulty or hardship in carrying out the strict letter of the regulations of the Zoning Ordinance.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the ZBA and Village Board to review.)**

1. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

The physical surroundings and shape of the property would result in a hardship for the owner in the fact that as the property exists today, it does not conform to the Zoning Ordinance. This existing, non-conforming condition consists of parking and access to the site that exist in the required front and rear yard setbacks, and their removal would not be feasible to this project.

2. That conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.

The conditions for the petition for variation are unique to this property only. The property and existing conditions being non-conforming, and the property being an individual, developed lot within the Village.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

The purpose of the variation is not to make more money, but to legalize an existing, non-conforming condition. In addition, it will help the development toward attaining the required number of parking spaces for this use, and allow a large portion of the existing property and facility to be salvaged and re-used.

ACKNOWLEDGEMENT

I understand that by signing this form, that the property in question may be visited by village staff and Board/Commission members throughout the petition process and that the petitioner listed above will be the primary contact for all correspondence issued by the village.

I certify that the information and exhibits submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the above signatures.

Any late, incomplete or non-conforming application submittal will not be processed until ALL materials and fees have been submitted.

SIGNATURE OF PETITIONER: 

PRINT NAME: Dimitri Poulakefalos

DATE: 3/17/17

REIMBURSEMENT OF CONSULTANT FEES AGREEMENT

The undersigned hereby acknowledges his/her obligation to reimburse the Village of Bartlett for all necessary and reasonable expenses incurred by the Village for review and processing of the application. Further, the undersigned acknowledges that he/she understands that these expenses will be billed on an ongoing basis as they are incurred and will be due within thirty days. All reviews of the petition will be discontinued if the expenses have not been paid within that period. Such expenses may include, but are not limited to: attorney's fees, engineer fees, public advertising expenses, and recording fees. Please complete the information below and sign.

NAME OF PERSON TO BE BILLED: Dimitri Poulakefalos

ADDRESS: 27 cutter Run S. Barrington, 60010

PHONE NUMBER: 630-327-6312

EMAIL: DPoulos@VACTAPES.COM

SIGNATURE: 

DATE: 3/17/17

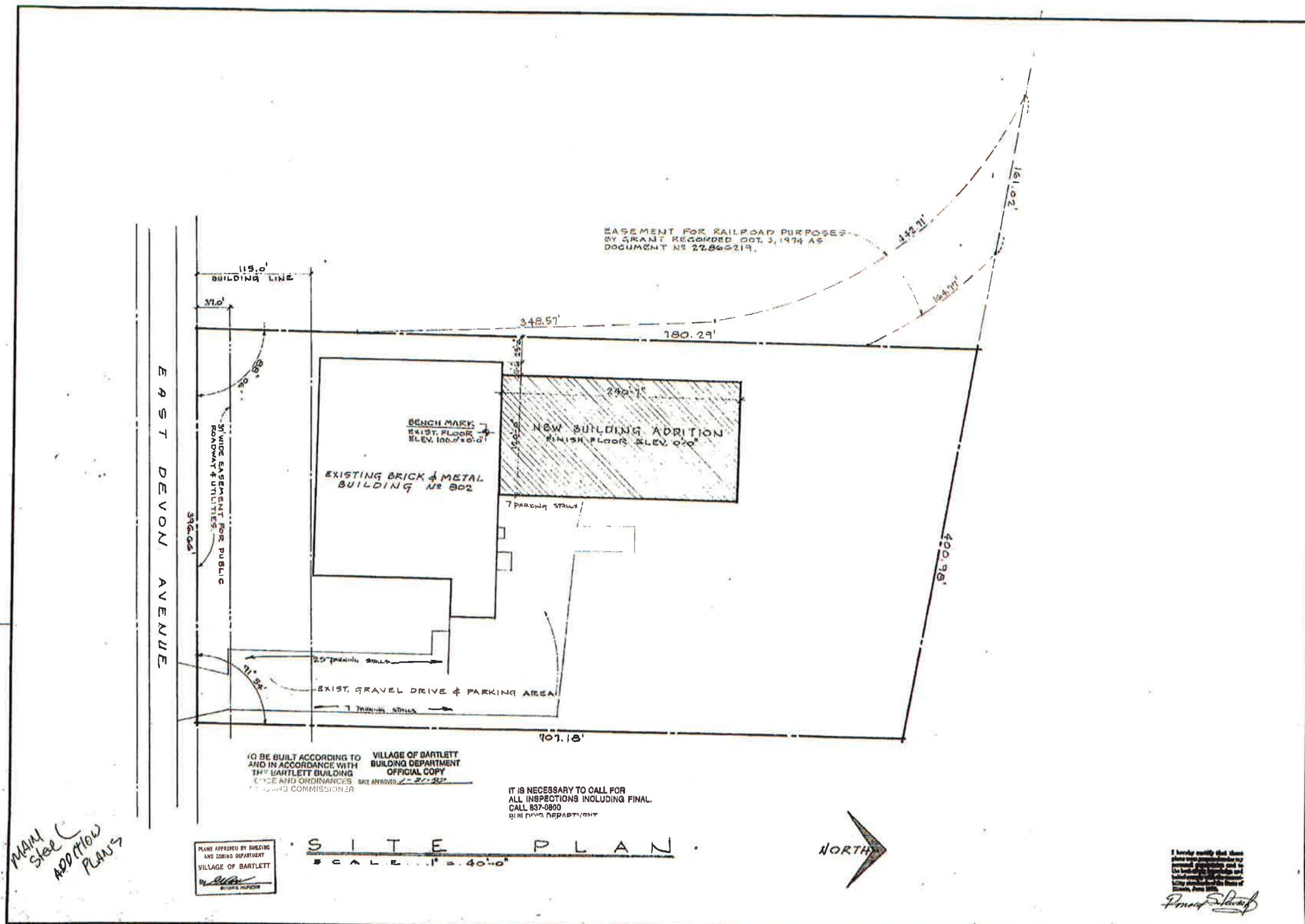
ZONING/LOCATION MAP

802 E. Devon Addition

Case #17-17 - Site Plan Review, Special Use and Variation

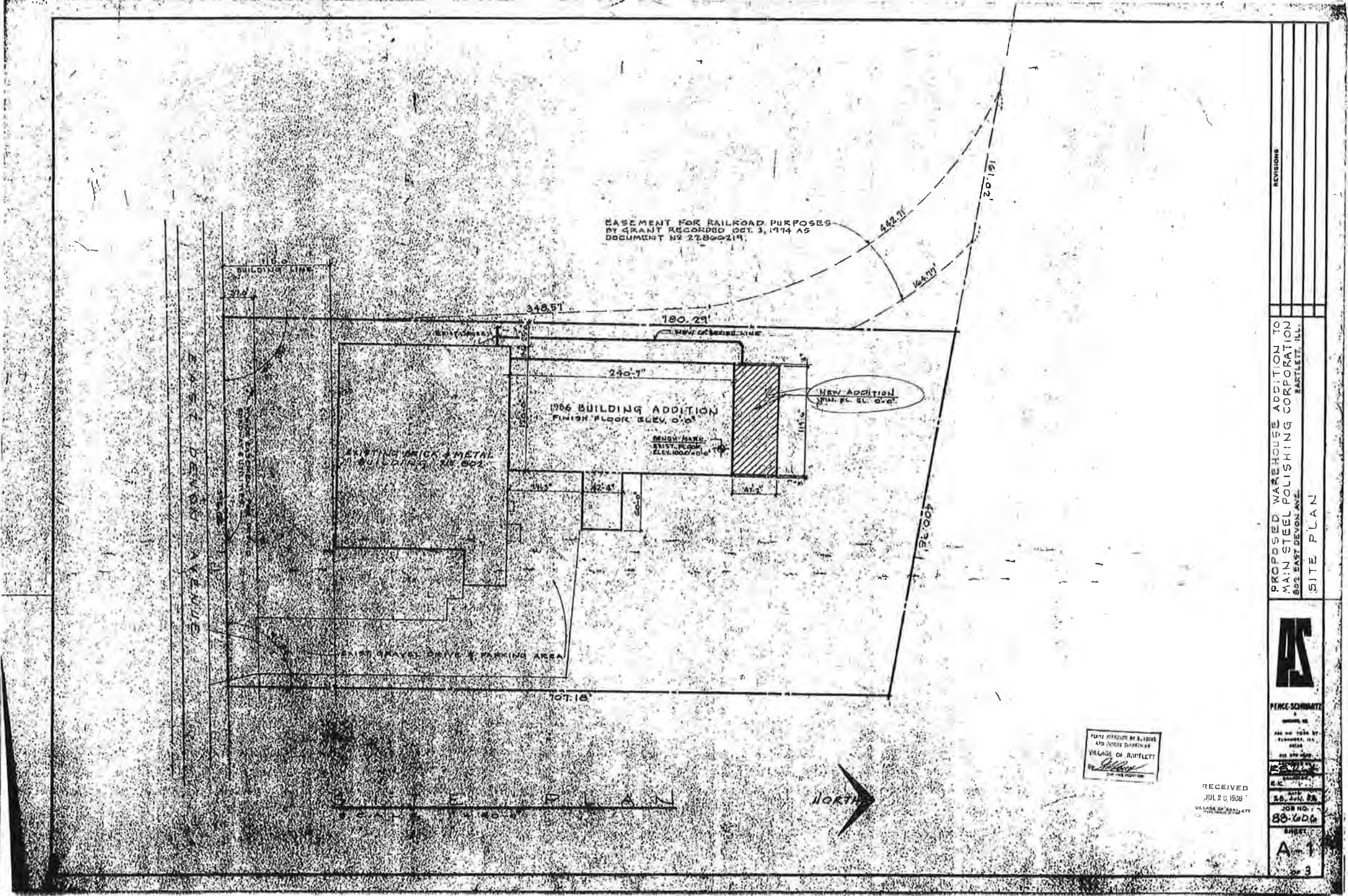
PIN: 06-35-400-009





REVISIONS
PROPOSED WAREHOUSE ADDITION TO MAIN STEEL POLISHING CORPORATION 802 EAST DEVON AVE. BARTLETT, ILL.
SITE PLAN
AS
PENCE-SCHWARTZ & ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEER NO. 120,454 STATE OF ILLINOIS
DATE: OCT. 17, 1986
JOB NO. 86-905
SHEET A-1 OF 5

1986 SITE PLAN



EASEMENT FOR RAILROAD PURPOSES
BY GRANT RECORDED OCT. 3, 1974 AS
DOCUMENT NO. 27-890219.

NEW ADDITION
FIN. FL. SL. 0'-0"

S I T E P L A N



STATE OF ILLINOIS
COUNTY OF DEKALB
VILLAGE OF BARTLETT
PLANS APPROVED BY BOARD
AND ZONING DEPARTMENT
BY _____
DATE _____

RECEIVED
JUL 26 1988
VILLAGE OF BARTLETT



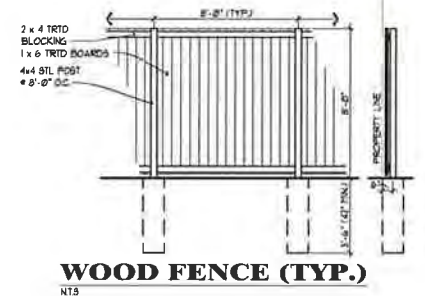
PENCE-SCHWARTZ
& ASSOCIATES

PROFESSIONAL ENGINEER
STATE OF ILLINOIS
LICENSE NO. 123456
REGISTERED ARCHITECT
STATE OF ILLINOIS
LICENSE NO. 789012

A-1
3

PROPOSED WAREHOUSE ADDITION TO
MAIN STEEL POLISHING CORPORATION
825 EAST DEVON LANE,
BARTLETT, ILL.
SITE PLAN

NO.	DATE	REVISION



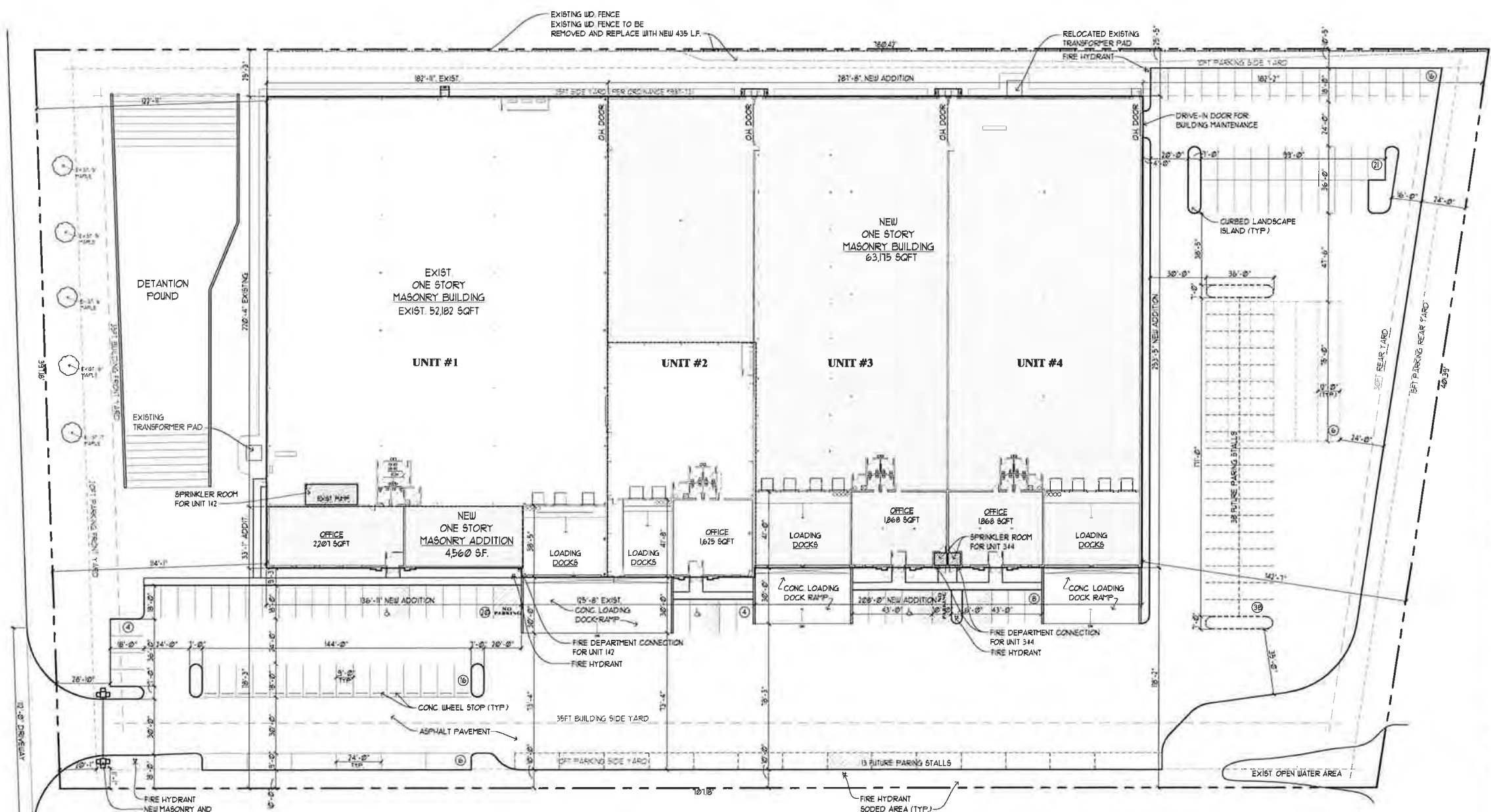
MARK	DATE	REVISIONS / RELEASE
	5-30-17	DESIGN SET
	7-26-17	APPLICATION REVIEW
	8-28-17	APPLICATION REVIEW

PROPOSED ADDITION TO EXISTING BUILDING
802 E. DEVON AVE
BARTLETT, IL

S.K.I. ARCHITECTURE
1645 W. OGDEN AVE. SUITE # 823
CHICAGO, ILLINOIS 60607
FAX: 708.378.3446
848.0288@skia.com

PROJECT #:
PRINT DATE: 5-30-17
A-1

THIRD SITE PLAN AMENDMENT



ZONING DATA

EXISTING ZONING	L-1 (LIGHT INDUSTRY DISTRICT)
LOT AREA	79,243 SQFT 0.719 ACRES
FAR (50%)	141,624 SQFT
EXIST. BUILDING AREA	51,822 SQFT
NEW ADDITION	61,135 SQFT
TOTAL BUILDING AREA	112,957 SQFT
IMPERVIOUS AREA	31,303 SQFT
EXIST. IMPERVIOUS AREA	10,118 SQFT
NEW IMPERVIOUS AREA	21,185 SQFT
TOTAL IMPERVIOUS AREA	31,303 SQFT
REG'D LANDSCAPE AREA (12%)	9,509 SQFT
PROVIDED AREA (24%)	18,819 SQFT
BUILDING HEIGHT	37'-7"
REQUIRED PARKING:	
OFFICE AREA (136,607/SF)	28
WAREHOUSE AREA (112,343/1,000/SF)	12
REQUIRED CAR PARKING:	40 PARKING SPACES
PROVIDED CAR PARKING:	88 PARKING SPACES
PROVIDED TRUCK PARKING:	6 PARKING SPACES
FUTURE PARKING:	51 PARKING SPACES
LOADING DOCKS:	3
DRIVE-IN DOOR:	1

BUILDING DATA

- CONSTRUCTION TYPE CLASSIFICATION: 8-1 (WAREHOUSE)
- USE GROUP: 28
- CONSTRUCTION TYPE: 28

FIRE PROTECTION SYSTEMS:
SPRINKLER SYSTEM - EXISTING + NEW
ALARM SYSTEM - EXISTING + NEW

	CODE	PROVIDED
MAX. BLD. AREA (FAR 50%)	141,624 SQFT	112,957 SQFT
LANDSCAPE AREA (FAR 20%)	9,509 SQFT	18,819 SQFT
BUILDING		
FRONT SETBACK	35'-0"	14'-1"
REAR SETBACK	30'-0"	147'-1"
SIDE SETBACK (EAST SIDE)	35'-0"	11'-0"
SIDE SETBACK (WEST SIDE)	50'-0"	25'-3"
BUILDING HEIGHT	45'-0"	57'-3"
PARKING		
FRONT SETBACK	20'-0"	28'-10"
REAR SETBACK	15'-0"	24'-0"
SIDE SETBACK (EAST SIDE)	10'-0"	10'-0"
SIDE SETBACK (WEST SIDE)	10'-0"	10'-3"
ENTRANCE		
FRONT SETBACK		10'-1"
SIDE SETBACK (EAST SIDE)		11'-1"
HEIGHT		23'-8"

INDEX OF DRAWINGS

A-1	SITE PLAN
A-2	FLOOR PLANS
A-3	BUILDING ELEVATIONS
A-4	SITE ENTRANCE & ELEVATIONS
A-5	COLOR RENDERING
A-6	COLOR RENDERING
L-1	LANDSCAPE PLAN
E-1	PHOTOMETRICS
A	TRUCK TURNING EXHIBIT

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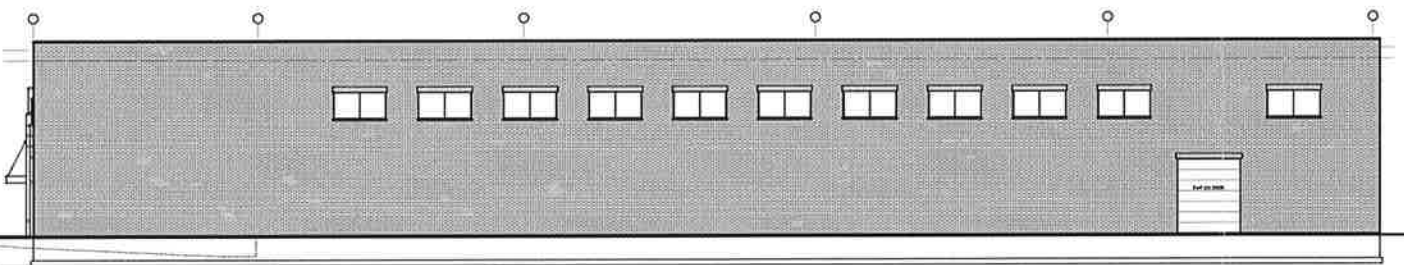
MARK	DATE	REVISIONS / RELEASE	INITIALS
	5-30-17	DESIGN SET	
	7-26-17	APPLICATION REV#1	

PROPOSED ADDITION TO EXISTING BUILDING
802 E. DEVON AVE
BARTLETT, IL

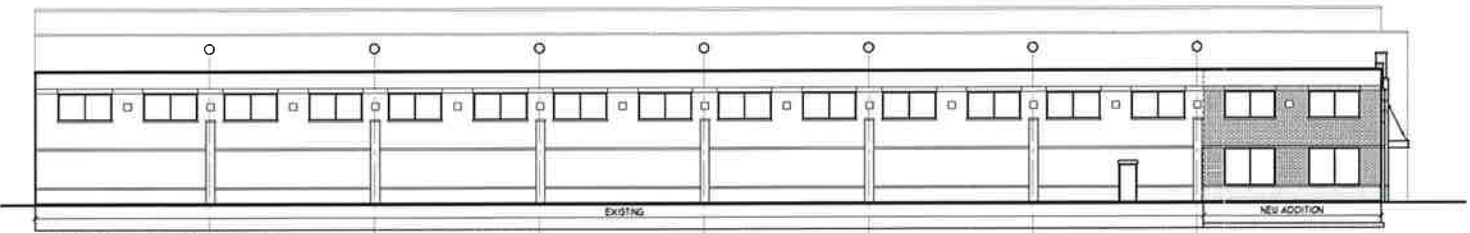
S.K.I. ARCHITECTURE
 1645 W. OGDEN AVE. SUITE # 523
 CHICAGO, ILLINOIS 60607
 312.425.5422
 109.341.1644
 info@skia.com skia.com

PROJECT #:
 PRINT DATE: 5-30-17
A-3

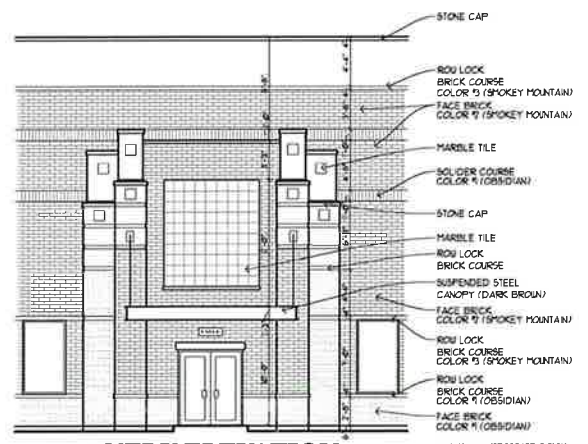
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NORTH ELEVATION
 SCALE: 1/8"=1'-0"

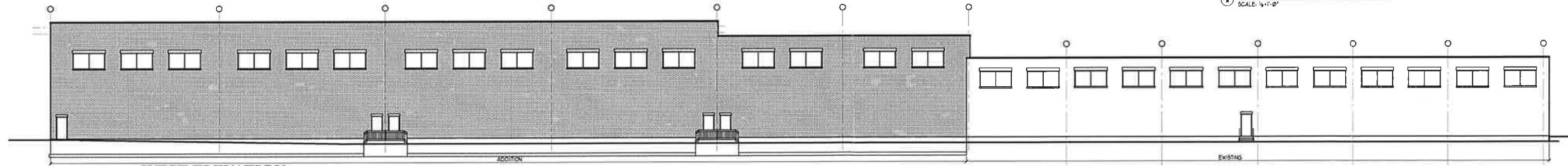


SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

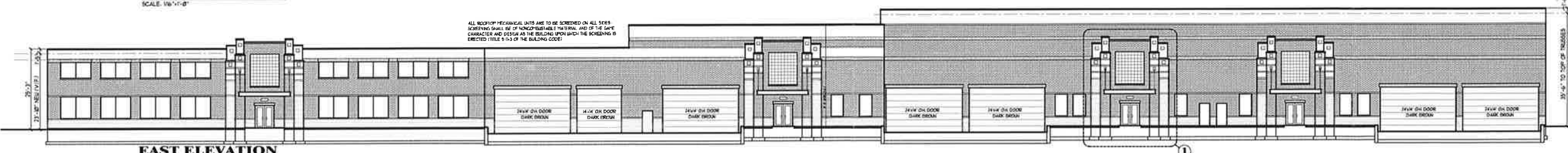


ENTRY ELEVATION
 SCALE: 1/4"=1'-0"

- STONE CAP
- ROW LOCK BRICK COURSE COLOR 9 (SPOKEY MOUNTAIN)
- FACE BRICK COLOR 9 (SPOKEY MOUNTAIN)
- MARBLE TILE
- SOLDER COURSE COLOR 9 (OBSSIDIAN)
- STONE CAP
- MARBLE TILE
- ROW LOCK BRICK COURSE
- SUSPENDED STEEL CANOPY (DARK BROWN)
- FACE BRICK COLOR 9 (SPOKEY MOUNTAIN)
- ROW LOCK BRICK COURSE COLOR 9 (SPOKEY MOUNTAIN)
- ROW LOCK BRICK COURSE COLOR 9 (OBSSIDIAN)
- FACE BRICK COLOR 9 (OBSSIDIAN)
- BRICK BY INTERSTATE BRICK ARCHITECTURAL SERIES



WEST ELEVATION
 SCALE: 1/8"=1'-0"



EAST ELEVATION
 SCALE: 1/8"=1'-0"

ALL ROOFTOP MECHANICAL UNITS ARE TO BE SCREENED ON ALL SIDES. SCREENING SHALL BE OF NONCOMBUSTIBLE MATERIAL AND OF THE SAME CHARACTER AND DESIGN AS THE BUILDING UPON WHICH THE SCREENING IS MOUNTED. TITLE IS 103 OF THE BUILDING CODE.

ELEVATIONS



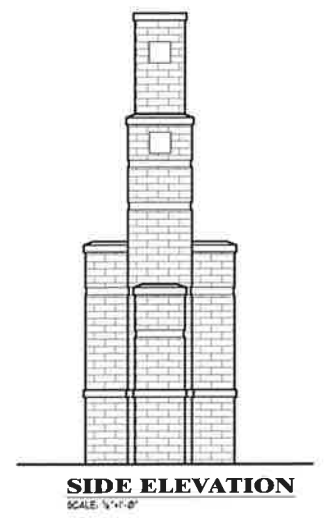
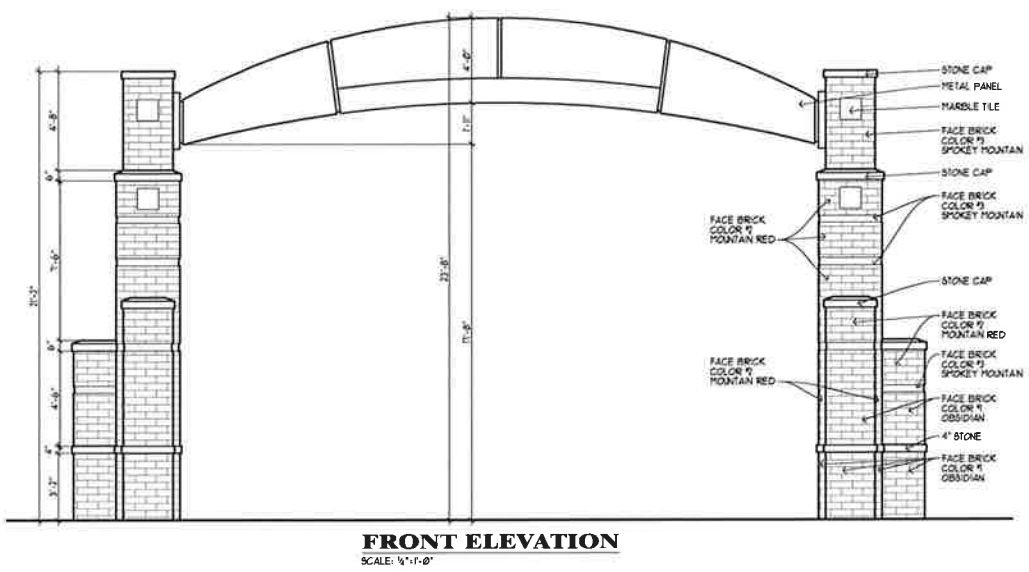
MARK	DATE	REVISIONS / RELEASE
	5-30-17	DESIGN SET
	7-26-17	APPLICATION REVIEW

PROPOSED ADDITION TO EXISTING BUILDING
802 E. DEVON AVE
BARTLETT, IL

S.R.I. ARCHITECTURE
 1645 W. LOGDEN AVE, SUITE # 523
 CHICAGO, ILLINOIS 60607
 312.423.2423
 312.423.2423
 312.423.2423

PROJECT #:
 PRINT DATE: 5-30-17
A-4

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MARK	DATE	REVISIONS / RELEASE	INITIALS
	5-30-17	DESIGN SET	
	7-26-17	APPLICATION ITEM	

**PROPOSED ADDITION TO
EXISTING BUILDING**

**802 E. DEVON AVE
BARTLETT, IL**

S.K.I.
ARCHITECTURE
1645 W. OGDEN AVE. SUITE # 523
CHICAGO, ILLINOIS 60607
FAX: 773.278.9444
WWW.SKIA.COM

PROJECT #:
PRINT DATE: 5-30-17

A-5

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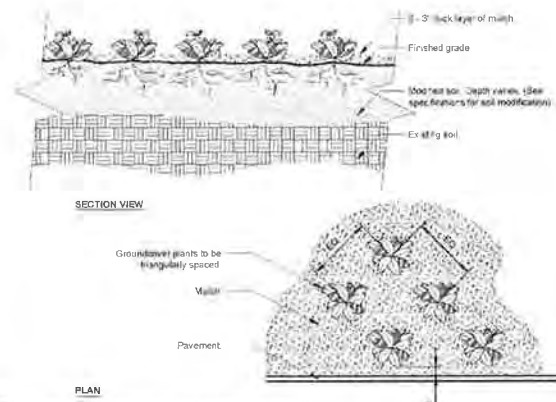
MARK	DATE	REVISIONS	RELEASE	INTL/APPD
	5-30-17	DESIGN SET		
		APPLICATION		

**PROPOSED ADDITION TO
EXISTING BUILDING**
802 E. DEVON AVE
BARTLETT, IL

S.K.I. ARCHITECTURE
1645 W. OGDEN AVE. SUITE # 523
CHICAGO, ILLINOIS 60607
TEL: 773-342-1412 FAX: 773-342-1411
www.ski-arch.com

PROJECT #:
PRINT DATE: 5-30-17
A-6

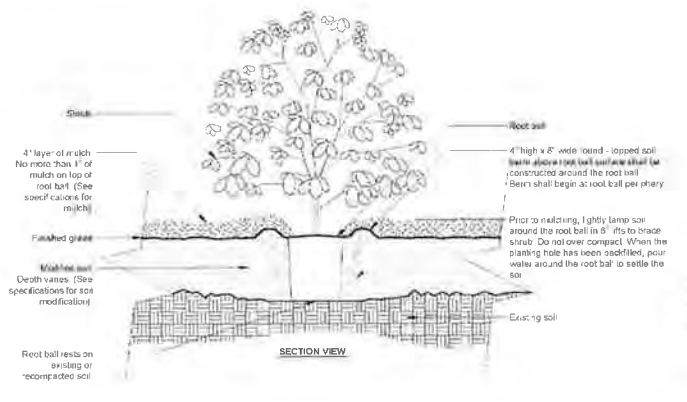
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GROUND COVER

Notes:

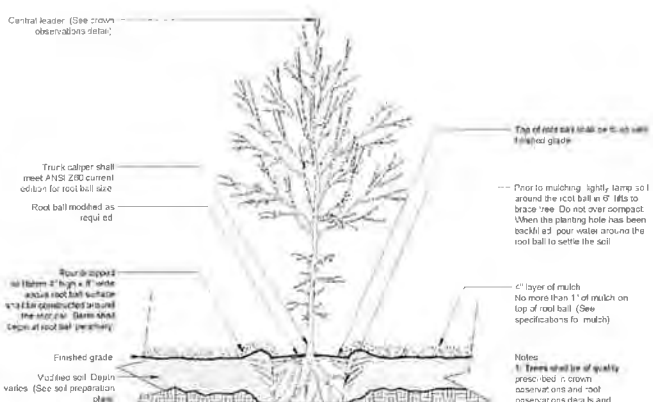
1. See planting legend for groundcover species, size and spacing dimension.
2. Small roots (1/2" or less) that grow around, up or over the root ball perimeter are considered a normal condition. In container production units are acceptable however they should be eliminated at the time of planting. Shallow on the outside can be removed at the time of planting. (See root ball retaining container detail).
3. Set up and amend root ball with even granular fertilizer prior to mulching.



SHRUB - MODIFIED SOIL

Notes:

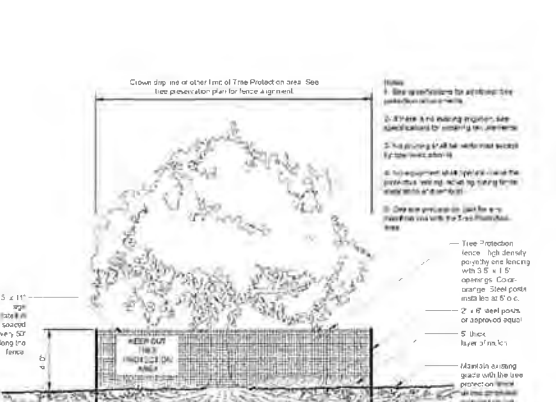
1. Shrubs shall be of quality prescribed in the root observation detail and specifications.
2. See specifications for further requirements related to this detail.



TREE w/ BERM (EXISTING SOIL MODIFIED)

Notes:

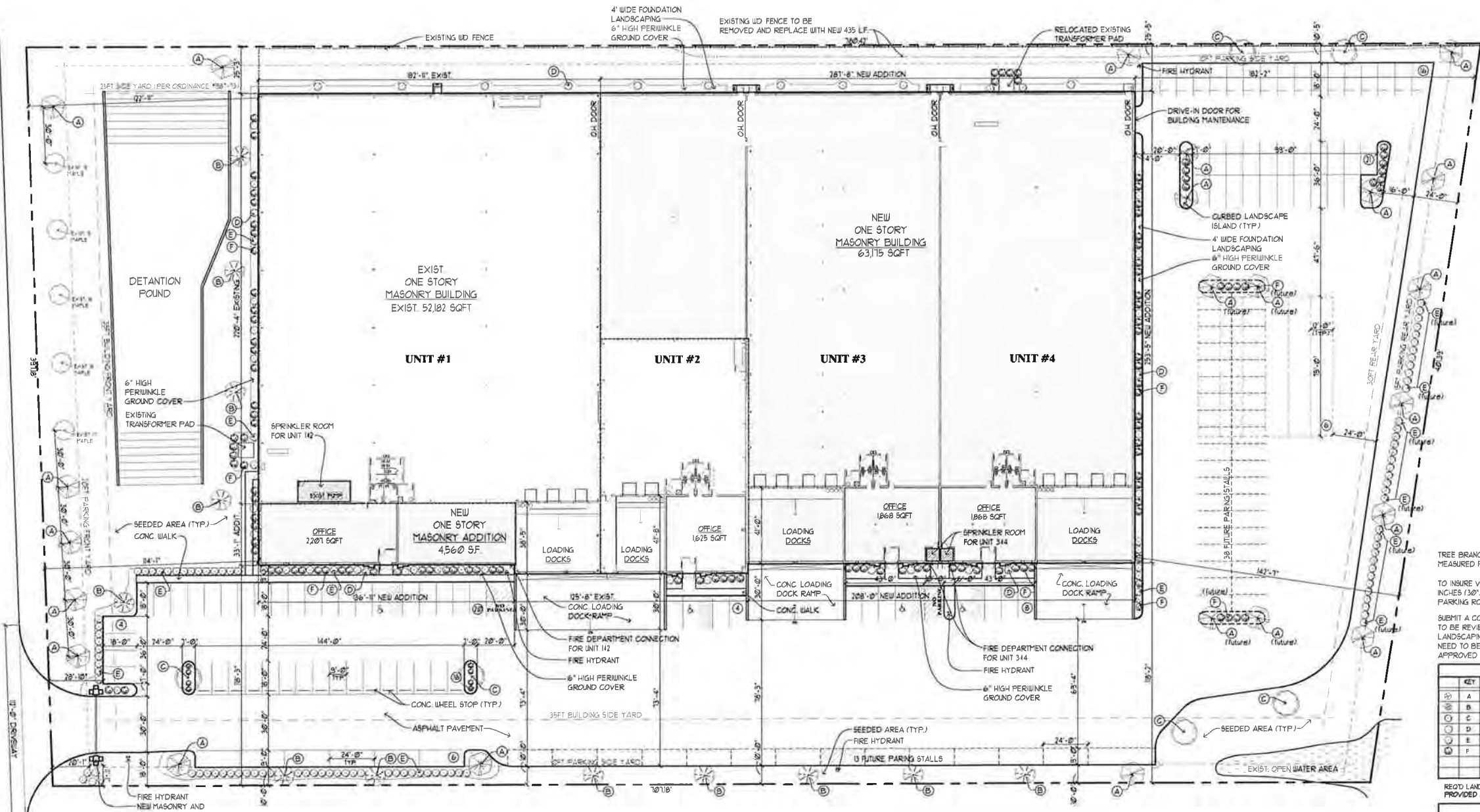
1. Trees shall be of quality prescribed in the root observation detail and specifications.
2. See specifications for further requirements related to this detail.



TREE PROTECTION

Notes:

1. See specifications for additional tree preservation details.
2. If there is a existing protection area, it shall be removed and replaced with the new protection area.
3. The protection area shall be installed prior to the start of construction.
4. The protection area shall be installed prior to the start of construction.
5. The protection area shall be installed prior to the start of construction.



LANDSCAPE PLAN
SCALE: 1"=30'-0"

TREE BRANCHING SHALL START NO LESS THAN SIX FEET (6') ABOVE THE PAVEMENT MEASURED FROM PAVEMENT LEVEL.

TO INSURE VISIBILITY SHRUBS SHALL NOT EXCEED A MATURE HEIGHT OF THIRTY INCHES (30") ABOVE PAVEMENT ON LANDSCAPE ISLANDS AT THE END OF PARKING ROWS.

SUBMIT A COST ESTIMATE FOR THE LANDSCAPING AND FUTURE LANDSCAPING TO BE REVIEWED AND APPROVED BY THE VILLAGE ARBORIST. IF THE LANDSCAPING CANNOT BE INSTALLED BEFORE NOVEMBER 1ST A BOND WILL NEED TO BE POSTED WITH COMMUNITY DEVELOPMENT ONCE THE ESTIMATE IS APPROVED AND PRIOR TO A BUILDING PERMIT BEING APPROVED.

PLANT LIST					
KEY	COMMON NAME	BOTANICAL NAME	QUANT.	SIZE	REMARKS
A	MAPLE	ACER SACCHARINUM	15	25 DIA.	8'-14" HGT.
B	RIVER BIRCH	BETULA NIGRA	12	25 DIA.	8'-14" HGT.
C	RED MAPLE	ACER RUBRUM	8	25 DIA.	8'-14" HGT.
D	EVERGREEN	ARDOVITAE	30		8'-8" HGT.
E	EVERGREEN	ARDOVITAE	82		3'-0" HGT.
F	YUCCA	TAXUS	11		3'-0" HGT.

REQ'D LANDSCAPE AREA (10%) 59,090 SQFT
PROVIDED AREA (24%) 71,265 SQFT

PLANT LIST - FUTURE LANDSCAPING					
KEY	COMMON NAME	BOTANICAL NAME	QUANT.	SIZE	REMARKS
A	MAPLE	ACER SACCHARINUM	4	25 DIA.	7'-14" HGT.
B	EVERGREEN	ARDOVITAE	30		3'-0" HGT.
C	YUCCA	TAXUS	8		3'-0" HGT.

PROPOSED ADDITION TO EXISTING BUILDING
802 E. DEVON AVE

S.K.I. ARCHITECTURE
1645 W. ORDEN AVE. SUITE # 503
CHICAGO, ILLINOIS 60627
952.952.3162 FAX: 708.524.5046
skai@skaiarch.com

PROJECT #:
PRINT DATE: 5-30-17
L-1

COMMUNITY DEVELOPMENT MEMORANDUM

17-171

DATE: August 30, 2017
TO: The Chairman and Members of the Zoning Board of Appeals
FROM: Angela L Zubko, Community Development Planner
RE: **(#17-16) Home Depot Resubdivision of Lot 1**

PETITIONER

Andrea Ragona on behalf of Cypress Property Group, LLC

SUBJECT SITE

Lot 1 of the Home Depot Subdivision- Southwest corner of Route 59 and Stearns Road (West side of Route 59, south of the Mobil gas station)

REQUESTS

Variations:

- a) To reduce the required parking spaces for Lot 1 of the Home Depot Resubdivision from 450 to 399 spaces,
- b) A 14'-6" reduction in the required 30 foot side yard building setback along the southern property line,
- c) A 30 foot reduction from the required 30 foot side yard parking setback along the southeastern property line, and
- d) A 9'-4" reduction in the required 40 foot rear yard building setback along the western property line.

SURROUNDING LAND USES

	<u>Land Use</u>	<u>Comprehensive Plan</u>	<u>Zoning</u>
Subject Site	Vacant	Commercial	B-4
North	Commercial	Commercial	B-4
South	Commercial	Commercial	B-4
East	Commercial	Commercial	B-3
West	Commercial	Commercial	B-4

ZONING HISTORY

The subject property was annexed to the Village in 1963 and was zoned C (Commercial District). The Home Depot Subdivision was approved on August 15, 2000 by Ordinance #2000-85 (*An Ordinance Approving a Preliminary/Final Plat of Subdivision, Special Uses for Outdoor Storage, Outdoor Sales, Truck Rental, and*

Building Height (45'), Variances for a Reduction in the Number of Parking Spaces, Parking in the Front, Corner Side and Side Yards, a Variance to Reduce Interior Parkway Landscaping and Perimeter Landscaping, a Reduction in the Size of Parking Spaces and Fence Height and Site Plan Approval for the Home Depot Shopping Center). The following building and parking setback variations were granted that pertain to the current petition:

- Front Parking Setback: from 60' to 10' (along Route 59)
- Side Parking Setback: from 30' to 5' (north property line)
- A parking variance was granted for Home Depot to reduce the number of required parking spaces from 551 to 450 based upon 110,082 customer floor area.

In 2001, Ordinance #2001-03 amended the Site Plan for Lot 1 of the Home Depot Subdivision eliminating a right-in right-out on Route 59, which was never constructed, and added an additional 68 parking spaces increasing the total number of parking spaces from 450 to 518. Also in 2001, Lot 2 of the Home Depot Subdivision was re-subdivided for the KFC/Taco Bell and First American Bank lots.

In 2003, Lot 5 was approved for the Fifth Third Bank by Ordinance #2003-152.

In 2004, Lot 3 was approved for Mr. Carwash by Ordinance #2004-54.

In 2008, Lot 4 was approved for Sonic by Ordinance #2008-86.

In 2010, seasonal/temporary outdoor storage and sales was approved for Lot 1 of the Home Depot Subdivision by Ordinance #2010-29 to temporarily use approximately 92 parking spaces.

In 2011, a Chase Bank was approved by Ordinance #2011-69, *An Ordinance Approving a Preliminary/Final Plat of Resubdivision for the Home Depot Subdivision Lot 1; Granting a Special Use Permit for a Drive Through; Variations to Reduce the Stacking Required for the Drive Through, to Allow a Canopy to Encroach on the Side Yard and Reduction In the Required Parking For Home Depot; and Site Plan Approval for a Bank.* **However, the Preliminary/Final Plat of Resubdivision for Lot 1 of the Home Depot Subdivision was never recorded and Chase Bank was never built.**

CURRENT DISCUSSION

1. The petitioner is requesting a Preliminary/Final Resubdivision of Lot 1 of the Home Depot Subdivision to create an outlot for a commercial retail building and a Second Site Plan Amendment for Lot 1 of the Home Depot Subdivision to create a new Lot 2. Home Depot proposes to add 11 parking spaces west of the building and 7 parking spaces in the northwest corner of the parking lot totaling 18 additional parking spaces. Lot 1 of the Home Depot Subdivision was required to have 450 parking spaces per Ordinance #2000-85, when a variation was granted. An additional **Variation** is requested to reduce the required parking spaces for **Lot 1** of the Home Depot Resubdivision from 450 to 399 spaces.

(The Preliminary/Final Resubdivision of Lot 1 of the Home Depot Subdivision & and Second Site Plan Amendment for Lot 1 of the Home Depot Subdivision will be discussed by the Plan Commission at their meeting on September 14, 2017.)

Below is a summary of the parking spaces provided on the site and those required in strict accordance with the Zoning Ordinance.

Parking Summary

	Parking Required	Parking Provided
Original Application with variation request approved	551	450 spaces
First Site Plan Amendment for Lot 1		Added 68 spaces
		Total = 518 spaces
Current Parking on Lot 1 of the Home Depot Subdivision		512 spaces (actually built)
Proposed Second Site Plan Amendment for Lot 1		Adding 18 spaces
Proposed Lot 2 of the Home Depot Resubdivision		Eliminating 131 spaces
		Total = 399 spaces (Lot 1)
Seasonal/ Temporary Outdoor Storage		Eliminating 96 spaces
		Total = 303 spaces during the Summer (Lot 1)

2. The Petitioner is requesting a Site Plan for Lot 2 of the Home Depot Resubdivision for a 39,747 square foot (0.91 acre) lot to be located along Route 59 directly south of the Mobil Gas Station. A proposed 8,200 square foot commercial building is proposed and would be constructed for four future tenants. *(The Site Plan for Lot 2 of the Home Depot Resubdivision will be discussed by the Plan Commission at their meeting on September 14, 2017.)*

3. The proposed 8,200 square foot commercial retail building would be oriented towards Rt. 59 with a drive-thru lane located on the west and south sides of the building. The commercial retail outlot is physically separated from the Home Depot parking lot by two curbed medians along the west and south property lines. The western median creates a stacking lane and a bypass lane for the drive-thru located on the south side of the building, separating the drive-thru stacking from the Home Depot parking.

4. The proposed building will be constructed of white brick with beige and dark grey accents and would have a mean height of 25 feet.
5. Access to the site would be through two existing access points to the Home Depot's parking lot, which has an internal drive that connects to Stearns Rd. and Rt. 59, approved as part of the Original Home Depot Bartlett Subdivision. An additional access point will be via a new cross access easement with the Mobil gas station to the north which was recorded in 2010 but has not yet been constructed. (A portion of the existing fence on the Mobil property will be removed once the connection between the properties is made.) There will be no direct access to Rt. 59 from Lot 2.
6. **Three Variations** are being requested on **Lot 2**:
 - a) A 14'-6" reduction in the required 30 foot side yard building setback along the southern property line,
 - b) A 30 foot reduction from the required 30 foot side yard parking setback along the southeastern property line, and
 - c) A 9'-4" reduction in the required 40 foot rear yard building setback along the western property line.
7. The petitioner is requesting a Special Use Permit to allow outdoor seating with about 12 seats. The outdoor seating area will also have a bike rack and a 36" fence to separate the outdoor seating from the parking lot and drive-thru. *(The Special Use will be discussed by the Plan Commission at their meeting on September 14, 2017.)*
8. The petitioner is also requesting a Special Use Permit to allow a drive-thru establishment. The drive through pick-up window will be located on the south side of the building. The menu/order board will be located on the west side of the building and provide stacking for five (5) vehicles. *(This item will be discussed by the Plan Commission at their meeting on September 14, 2017)*
9. The Site Plan for Lot 2 identifies a total of 55 parking spaces, including three (3) handicapped accessible spaces which exceeds the Zoning Ordinance requirement of 48 parking spaces.
10. The **Traffic Impact Analysis** estimates that the proposed outlot will still leave a **surplus of parking for Home Depot.** It also noted that there is a total of 10 stacking spaces provided from the pick-up window that will be located outside adjacent parking aisles. The report also notes that perhaps one or two additional stacked vehicles could be accommodated. The drive-thru area also has a desirable by-pass lane in advance of the menu/order board. **The Traffic Impact Analysis states that the proposed retail outlot use will not adversely impact existing off-site access level of service.**
11. The Landscape and Engineering Plans are currently under Staff Review.

RECOMMENDATION

According to the provisions of the Zoning Ordinance, the Zoning Board of Appeals should render a decision based upon the following:

- A. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.
- B. That conditions upon which the petition for variations are based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.
- C. That the purpose of the variations are not based exclusively upon a desire to make money out of the property.
- D. That the alleged difficulty or hardship is caused by the provision of this Title and has not been created by any person presently having an interest in the property.
- E. That the granting of the variations will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.
- F. That the proposed variations will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.
- G. That the granting of the variances requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

Variations shall be recommended only if the evidence, in the judgment of the Board of Appeals, sustains all the conditions enumerated above.

Background information is attached for your review and consideration.

alz/attachments

x:\comdev\mem2017\171_HomeDepotOutlot2_zba.docx

Cypress Property Group, L.L.C.
200 West Madison Street, Suite 4200
Chicago, Illinois 60606

May 22, 2017

President Kevin Wallace &
Members of the Board of Trustees
Village of Bartlett
228 S. Main Street
Bartlett, Illinois 60103

RECEIVED
COMMUNITY DEVELOPMENT

VILLAGE OF
BARTLETT

Re: Portion of Home Depot Property
950 S. Illinois Route 59

Dear President Wallace and Members of the Board of Trustees:

Cypress Property Group L.L.C is the contract purchaser and proposed developer of a portion of the Home Depot parking lot owned by HD Development of Maryland, Inc. We propose to acquire an underdeveloped portion of the existing Home Depot parking lot comprising approximately 0.88 acres and subdivide it as a separate lot of record to be developed as a multi-tenant commercial building of approximately 8,200 square feet, approximately 2,020 square feet of which will be leased to a coffee shop with a drive-thru and outdoor seating. The balance of the building will be leased to other commercial tenants.

In conjunction therewith, we will be requesting preliminary and final subdivision approval, site plan approval for the modified Home Depot property and the proposed new outlet, special use approval for both the drive-thru and approximately 450 square feet of outdoor seating in conjunction with the proposed coffee shop, and variations in both building and parking setbacks for the rear yard and south side yard, the required a number of parking spaces, and foundation landscaping.

We respectfully request that this matter be referred to the Plan Commission and the Zoning Board of Appeals for further hearings. If you have any questions, please contact the undersigned. Thank you.

Very truly yours,

CYPRESS PROPERTY GROUP L.L.C.

BY:  , proj. mgr.



VILLAGE OF BARTLETT DEVELOPMENT APPLICATION

For Office Use Only
Case # 17-16
RECEIVED
COMMUNITY DEVELOPMENT
VILLAGE OF
BARTLETT

PROJECT NAME Bartlett Plaza Home Depot Outlot #2

PETITIONER INFORMATION (PRIMARY CONTACT)

Name: Cypress Property Group, L.L.C.

Street Address: 200 West Madison Street, Suite 4200

City, State: Chicago, Illinois

Zip Code: 60606

Email Address: andrea@nationalplazas.com

Phone Number: 312.332.4172

Preferred Method to be contacted: Email

PROPERTY OWNER INFORMATION

Name: HD Development of Maryland, Inc.

Street Address: 2455 Paces Ferry Road, N.W. C-19

City, State: Atlanta, GA

Zip Code: 30339

Phone Number: (770) 384-2413

OWNER'S SIGNATURE: [Signature]

Date: 5-22-17

(OWNER'S SIGNATURE IS REQUIRED ON A LETTER AUTHORIZING THE PETITION SUBMITTAL.)
Jessica Berghen
Senior Corporate Counsel

ACTION REQUESTED (Please check all that apply)

- Annexation
 - PUD (preliminary)
 - PUD (final)
 - Subdivision (preliminary)
 - Subdivision (final) RESUB
 - Site Plan (please describe use: commercial, industrial, square footage):
amendment for Home Depot property, review for outlot property
 - Unified Business Center Sign Plan
 - Other (please describe) _____
- Text Amendment
 - Rezoning See Dropdown to See Dropdown
 - Special Use for: see attached
 - Variation: see attached

SIGN PLAN REQUIRED? Yes

(Note: A Unified Business Center Sign Plan is required for four or more individual offices or businesses sharing a common building entrance or private parking lot.)

PROPERTY INFORMATION

Common Address/General Location of Property: Outlot of 950 S. IL Route 59

Property Index Number ("Tax PIN"/"Parcel ID"): 01-04-403-032

Zoning: Existing: B-4 **Land Use:** Existing: Commercial
(Refer to Official Zoning Map)
Proposed: B-4 Proposed: Commercial

Comprehensive Plan Designation for this Property: Commercial
(Refer to Future Land Use Map)

Acreage: 0.88 acres

For PUD's and Subdivisions:

No. of Lots/Units: 2

Minimum Lot: Area _____ Width _____ Depth _____

Average Lot: Area _____ Width _____ Depth _____

APPLICANT'S EXPERTS (If applicable, including name, address, phone and email)

Attorney Larry Freedman of Ash, Anos, Freedman and Logan
77 West Washington Street, Chicago, Illinois
312.346.1390 lmfreedman@aflaw.com

Engineer Tracy Richard of Manhard Consulting
900 Woodlands Pkwy, Vernon Hills, IL 60061
847.325.7205 trichard@manhard.com

Other David Mangurten of KMA Associates
1161 Lake Cook Road, Deerfield, IL 60014
847.945.6869 dmangurten@kmaarch.com

FINDINGS OF FACT FOR SITE PLANS

Both the Plan Commission and Village Board must decide if the requested Site Plan meets the standards established by the Village of Bartlett Zoning Ordinance.

The Plan Commission shall make findings based upon evidence presented on the following standards:

(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Plan Commission and Village Board to review.)

1. The proposed use is a permitted use in the district in which the property is located.

Applicant proposes to construct a new multi-tenant commercial building of approximately 8,200 square feet, approximately 2,020 square feet of which will be leased to a coffee shop with a drive-thru and outdoor seating, and the balance of which will be leased to other commercial tenants. The coffee shop and other proposed commercial uses are all permitted in the existing B-4 zoning classification.

2. The proposed arrangement of buildings, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses.

The proposed new building currently comprises an underused portion of the existing Home Depot facility, and, once approved as a separate lot and developed with the proposed new building, will continue to share access with the existing Home Depot facility. It has been designed so that parking, lighting, landscaping, and drainage will be compatible with the Home Depot facility as well as other adjacent commercial facilities.

3. The vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

As supported by the traffic and parking study submitted by Applicant's consultant, the vehicular ingress and egress and on-site circulation have been designed to be compatible with that of the existing Home Depot facility and other adjacent commercial uses, and will provide safe, efficient, and convenient access to and from adjacent roadways.

4. The site plan provides for the safe movement of pedestrians within the site.

The proposed building and parking locations have designed to safely provide for pedestrian access to and from the parking area and the proposed commercial facilities as indicated on the Site Plan.

5. There is sufficient mixture of grass, trees and shrubs within the interior and perimeter (including public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses and will provide a pleasing appearance to the public. Any part of the site plan area not used for buildings, structures, parking or accessways shall be landscaped with a mixture of grass, trees and shrubs. (All landscape improvements shall be in compliance with Chapter 10-11A, Landscape Requirements)

Applicant proposes to provide numerous planters which will provide sufficient plan material in lieu of foundation planting which will be in harmony with adjacent land uses and which will provide a pleasing appearance to the public.

6. All outdoor storage areas are screened and are in accordance with standards specified by this Ordinance.

There are no outside storage areas. The trash area is screened as shown on the Site Plan

FINDINGS OF FACT FOR SPECIAL USES

Both the Plan Commission and Village Board must decide if the requested Special Use meets the standards established by the Village of Bartlett Zoning Ordinance.

The Plan Commission shall make findings based upon evidence presented on the following standards:

(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Plan Commission and Village Board to review.)

1. That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

Approximately 2,020 square feet of the proposed approximately 8,200 square foot building to be constructed, is intended to be used as a coffee shop with a drive-thru and with approximately 450 square feet of outdoor seating. The property is located at the intersection of major arterials, Route 59 and Sterns Road, which generate a considerable number of potential customers for the proposed facility during the morning commute which is the peak period of use for the proposed coffee shop, and as such will provide a desirable facility which will contribute to the general welfare of the neighborhood and the community.

2. That such use will not under the circumstances of the particular case be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or be injurious to property value or improvement in the vicinity.

The proposed drive-thru facility and outdoor seating in conjunction with the proposed coffee shop will be compatible with all of the uses surrounding the subject property which are commercial in nature and which include the Home Depot, a fast food restaurant, and a gasoline service, and as such will not be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or injurious to property value or improvements in the vicinity.

3. That the special use shall conform to the regulations and conditions specified in this Title for such use and with the stipulation and conditions made a part of the authorization granted by the Village Board of Trustees.

The requested special uses may be granted for the subject property within the B-4 zoning district, and will be operated in conformance with any conditions which are imposed by the Village as part of such approval.

FINDINGS OF FACT FOR VARIATIONS

(rear yard and south side yard building and parking setbacks)

Both the Zoning Board of Appeals and the Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Zoning Ordinance and if there is a practical difficulty or hardship in carrying out the strict letter of the regulations of the Zoning Ordinance.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the ZBA and Village Board to review.)**

1. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

The subject property currently constitutes an underused portion of the existing Home Depot parking lot, and once subdivided will be developed with a new mixed use commercial building, which will be located adjacent to the Home Depot parking facility, and will also be surrounded by other commercial uses, such as a service station and a fast food restaurant. The subject property, comprising a portion of the Home Depot parking lot, has a unique location and physical surroundings, and as such the strict application of the rear yard and side yard setbacks would result in a particular hardship for Applicant, in that the proposed building and parking setbacks are fully compatible with the adjacent Home Depot parking and other adjacent commercial uses.

2. That conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.

The development of the subject property, which currently constitutes an underused portion of the Home Depot parking lot, and the creation of a new lot to be developed with a commercial building, is a unique circumstance which is not applicable generally to other property within the B-4 zoning classification.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

The purpose of the variation is to maximize development of the underused portion of the existing Home Depot parking lot for which continued use as a parking facility serves no purpose, and as such the purpose of the requested variation is not based exclusively on a desire to make more money from the property, but rather to maximize its development potential.

4. That the alleged difficulty or hardship is caused by the provisions of this Title and has not been created by any person presently having an interest in the property.

The difficulty from which relief is sought results from a proposed development on what is currently an under used portion of the Home Depot parking lot, a hardship which is an existing condition which has not been created by Applicant.

5. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.

Inasmuch as the property, constituting a portion of the Home Depot parking lot, abuts other portions of the parking lot, the granting of the requested setback variations will not be detrimental to public welfare or injurious to other property improvements in the neighborhood in which the property is located.

6. That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.

The location of the new commercial facilities to be constructed in an area which is presently a portion of the Home Depot parking lot is of sufficient distance from neighboring uses such that there will be no impairment of light or air to adjacent properties and as supported by Applicant's traffic and parking study, the proposed modification will not increase congestion of the public streets or endanger public safety. As indicated by the Site Plan, the proposed new facilities as designed will not substantially diminish or impair property values within the adjacent neighborhood.

7. That the granting of the variance requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

The proposed new facilities as designed will be surrounded by other commercial uses, such as a service station and fast food restaurant, and will be fully compatible with surrounding uses, and as such will not confer upon Applicant any special privilege which is not available for other land, structures, or buildings in the same district.

FINDINGS OF FACT FOR VARIATIONS

(Foundation Landscaping)

Both the Zoning Board of Appeals and the Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Zoning Ordinance and if there is a practical difficulty or hardship in carrying out the strict letter of the regulations of the Zoning Ordinance.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the ZBA and Village Board to review.)**

1. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

Foundation landscaping is required to provide visual relief from building foundations. Applicant proposes to provide numerous planters rather than foundation landscaping to achieve the described result. The proposed multi-tenant building will have multiple entrance lends itself to providing planters which will be better suited to achieve the desired result.

2. That conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.

The proposed building is a multi-tenant building with multiple entrances which constitutes a condition which would support planters in lieu of foundation landscaping. This condition is not generally applicable to other property in the B-4 district.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

The purpose of the variation is not specifically the desire to make more money on the property, in that to substitution of planters for foundation planting will not result in an economic benefit to Applicant, but will rather achieve the desired result by more appropriate needs.

4. That the alleged difficulty or hardship is caused by the provisions of this Title and has not been created by any person presently having an interest in the property.

The proposed building will have multiple entrances which lends itself to providing planters in order to provide landscaping relief rather than foundation planting, which hardship has not been created by Applicant.

5. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.

By providing appropriate plant material located in planters in various locations in order to screen the building foundation, the granting of the variation will not be detrimental to public welfare, or injurious to other property or improvements in the neighborhood in which the property is located.

6. That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.

The addition of the proposed planters will not impair light or air to adjacent property, and, as located, will not cause any increase in congestion or increase the danger of fire, endanger public safety, or substantially diminish or impair property values within the adjacent neighborhood.

7. That the granting of the variance requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

The allowance of planters in lieu of foundation plants will have the same screening impact as will foundation planting, such that there is no special privilege being granted to Applicant.

FINDINGS OF FACT FOR VARIATIONS

(Required number of parking stalls)

Both the Zoning Board of Appeals and the Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Zoning Ordinance and if there is a practical difficulty or hardship in carrying out the strict letter of the regulations of the Zoning Ordinance.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the ZBA and Village Board to review.)**

1. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

As supported by Applicant's traffic and parking study, the existing Home Depot parking lot provides for a greater amount of parking than needed to service the Home Depot facility, such that the granting of the proposed variation would allow the redevelopment of the underused portion of the Home Depot parking lot with additional commercial facilities while continuing to provide sufficient parking to service both the Home Depot as well as the new commercial facilities. To require Home Depot to continue to provide parking which is not necessary for its use would impose a particular hardship on the property owner.

2. That conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.

The conditions upon which the petition are based are unique to this property and are based upon the need and demand for parking for the Home Depot facility, and as such are not generally applicable to other properties within the same zoning classification.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

The purpose of the variation is to maximize development of the underused portion of the existing Home Depot parking lot for which continued use as a parking facility serves no purpose, and as such the purpose of the requested variation is not base exclusively on a desire to make more money from the property, but rather to maximize its development potential.

4. That the alleged difficulty or hardship is caused by the provisions of this Title and has not been created by any person presently having an interest in the property.

The provisions of the Village Code which mandate the amount of required parking has resulted in an excess of parking and an underused portion of the Home Depot parking lot, as demonstrated by Applicant's traffic and parking study. The requested variation will allow the underused portion of the parking lot to be developed with additional commercial facilities while continuing to provide sufficient parking to service both the Home Depot as well as the new commercial facilities.

5. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.

Inasmuch as the granting of the variation will merely eliminate an underused portion of the Home Depot parking lot while still providing sufficient parking for both the Home Depot facility and the additional commercial facilities, there will be no detrimental effect on the public welfare; nor will it be injurious to other property or improvements in the neighborhood in which the property is located.

6. That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.

As indicated on the Site Plan, the proposed variation will not impair light or air to adjacent properties, inasmuch as the area to be developed currently is located within a portion of the Home Depot parking lot and is located at a sufficient distance from surrounding uses. As supported by Applicant's traffic and parking study, there will be no increase in congestion of public streets, and as such there will be no increase in the danger of fire, or endangerment of public safety, nor impairment of property values within the adjacent neighborhood.

7. That the granting of the variance requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

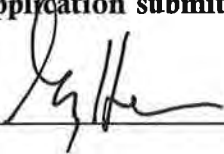
The granting of the variation would allow the maximum development of commercial uses on the property without reducing the amount of necessary parking to service both Home Depot and such new commercial development, and as such will not confer any special privilege by the granting of the variation.

ACKNOWLEDGEMENT

I understand that by signing this form, that the property in question may be visited by village staff and Board/Commission members throughout the petition process and that the petitioner listed above will be the primary contact for all correspondence issued by the village.

I certify that the information and exhibits submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the above signatures.

Any late, incomplete or non-conforming application submittal will not be processed until ALL materials and fees have been submitted.

SIGNATURE OF PETITIONER: 

PRINT NAME: George Hanus, Vice-President of Cypress Property Group, L.L.C.

DATE: 5/18/17

REIMBURSEMENT OF CONSULTANT FEES AGREEMENT

The undersigned hereby acknowledges his/her obligation to reimburse the Village of Bartlett for all necessary and reasonable expenses incurred by the Village for review and processing of the application. Further, the undersigned acknowledges that he/she understands that these expenses will be billed on an ongoing basis as they are incurred and will be due within thirty days. All reviews of the petition will be discontinued if the expenses have not been paid within that period. Such expenses may include, but are not limited to: attorney's fees, engineer fees, public advertising expenses, and recording fees. Please complete the information below and sign.

NAME OF PERSON TO BE BILLED: Andrea Ragona/Cypress Property Group, L.L.C.

ADDRESS: 200 West Madison Street, Suite 4200
Chicago, IL 60606

PHONE NUMBER: 312.332.4172

EMAIL: andrea@nationalplazas.com

SIGNATURE: 

DATE: 5/18/17

ZONING/LOCATION MAP

Home Depot Outlot 2

Case #17-16 - Preliminary/Final Resubdivision of Lot 1

Site Plan Review, Special Uses and Variations

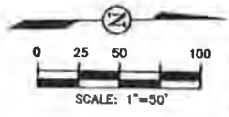
PIN: Part of 01-04-403-033



Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus, USDA, USGS, AeroGRID, IGN, IGP, swisstopo, GIS User Community

FINAL PLAT OF SUBDIVISION OF THE HOME DEPOT - BARTLETT SUBDIVISION

P.I.N. 01-04-403-028
01-09-201-005

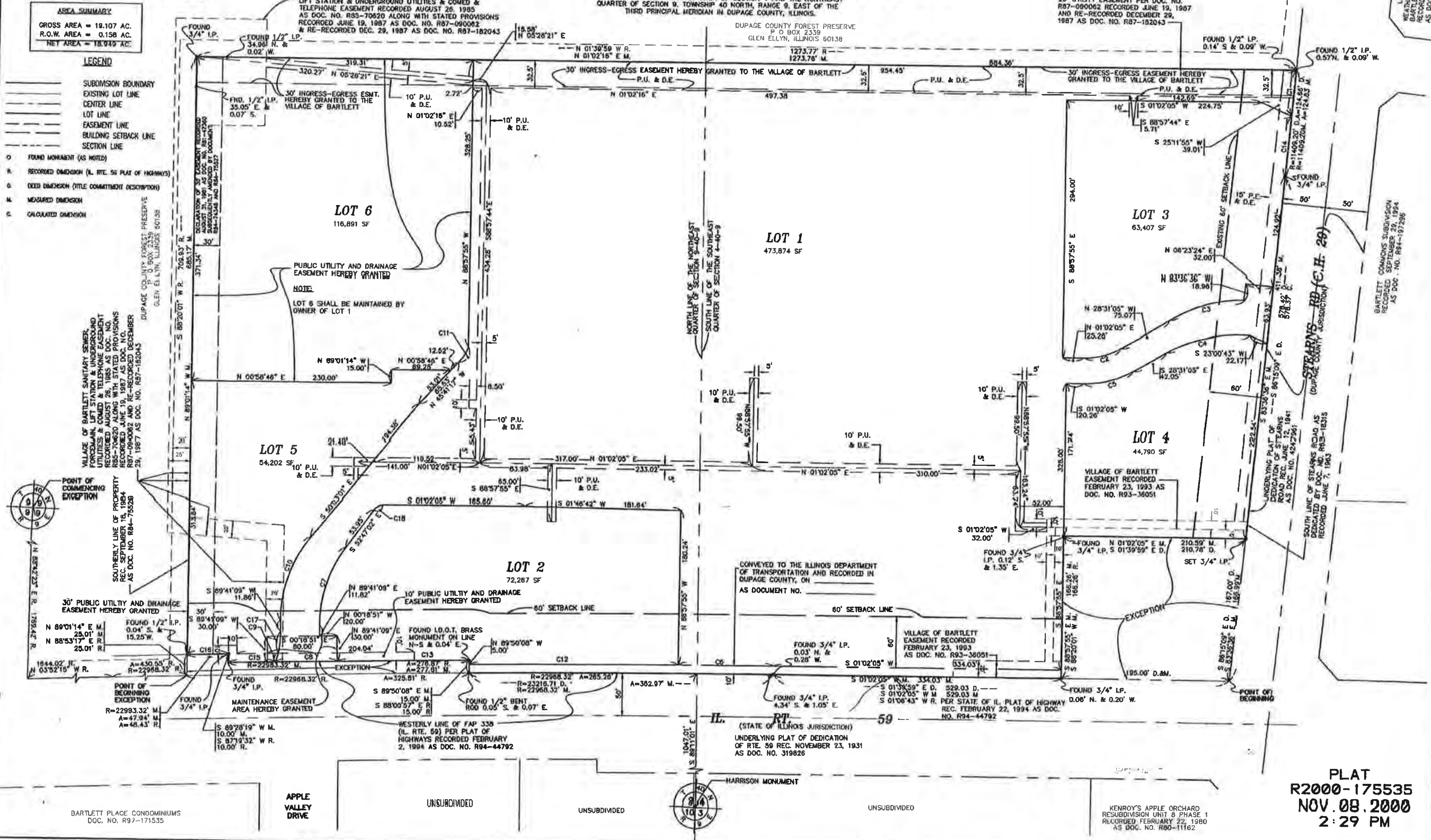


- NOTES:**
- DIMENSIONS ALONG CURVED LINES ARE ARC LENGTHS.
 - IRON PEG AT ALL LOT CORNERS AND POINTS OF CURVATURE.
 - DENOTES CONCRETE MONUMENT SET
 - DASHED LINES (---) INDICATE PUBLIC UTILITY & DRAINAGE EASEMENTS (P.U. & D.E.)
 - LONG DASHED LINES (---) INDICATE BUILDING LINES.
 - 3/4" I.D. X 24" LONG IRON PIPE PLACED AT THE POSITIONS NOTED IN #2 TO CONFORM TO ILL. COMPILED STATUTES CHAPTER 193 I.C.S. 299/1 REGARDING PLACEMENT OF MONUMENTS.
 - PRIOR TO SITE PLAN APPROVAL OR THE ISSUANCE OF A BUILDING PERMIT BY THE VILLAGE OF BARTLETT FOR LOTS 2, 3, 4 OR 5, A SEPARATE INSTRUMENT SHALL BE EXECUTED AND RECORDED TO, AMONG OTHER THINGS, CREATE RECORDAL ACCESS EASEMENTS BETWEEN THE LOTS OF THE HOME DEPOT - BARTLETT SUBDIVISION AND ESTABLISH CERTAIN COVENANTS WITH RESPECT TO THE OPERATION AND MAINTENANCE OF THE SHARED DETENTION FACILITY AND MONUMENT SIGNS LOCATED ON THE LOTS.
 - THERE SHALL BE NO DIRECT ACCESS TO ILLINOIS ROUTE 59 FROM LOT 2 OR LOT 5.

AREA SUMMARY

GROSS AREA = 19,107 AC.
R.O.W. AREA = 0.156 AC.
NET AREA = 18,951 AC.

- LEGEND**
- SUBDIVISION BOUNDARY
 - EXISTING LOT LINE
 - CENTER LINE
 - LOT LINE
 - EASEMENT LINE
 - BUILDING SETBACK LINE
 - SECTION LINE
- FOUND MONUMENT (AS NOTED)
- Ⓜ RECORDED DIMENSION (L. RTE. 59 PLAT OF HIGHWAYS)
- Ⓜ DEED DIMENSION (TITLE COMMITMENT DESCRIPTION)
- Ⓜ MEASURED DIMENSION
- Ⓜ CALCULATED DIMENSION



ROAKE AND ASSOCIATES, INC.
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS
1887 HIGH GROVE LN • NAPERVILLE IL 60540 • (800) 366-8282

PREPARED FOR:
HOME DEPOT U.S.A., INC.
2455 PACES FERRY ROAD
ATLANTA, GA 30339
(800) 553-3199

REVISIONS		REVISIONS			
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	5-25-00	REV. PER VILLAGE REVIEW			
2	6-30-00	100% CONSTRUCTION			
3	8-1-00	REV. PER VILLAGE REVIEW			
4	9-6-00	REV. PER IDOT REVIEW			
5	8-8-00	REV. SURVEYORS CERT.			

PLAT R2000-175535
NOV. 08, 2000
2:29 PM

THE HOME DEPOT - BARTLETT SUBDIVISION

FINAL PLAT OF SUBDIVISION R2000-175535

DRN/CDI BY: KER/MEH FILE: 48211PS2 PLO. BK/PLO. 114/45 SHEET NO. 2
DATE: 11-08-00 PLO. NO. 48211PS2

ORDINANCE #2000-85 FINAL PLAT OF SUBDIVISION

1482101148211PS3 Fl. 509 8 05:37:06 2000 04

PROFESSIONAL LAND SURVEYING, INC.
3080 OGDEN AVENUE SUITE 307
LISLE, ILLINOIS 60532
PHONE: 630-778-1757
FAX: 630-778-1916
E-MAIL: info@plisusa.com

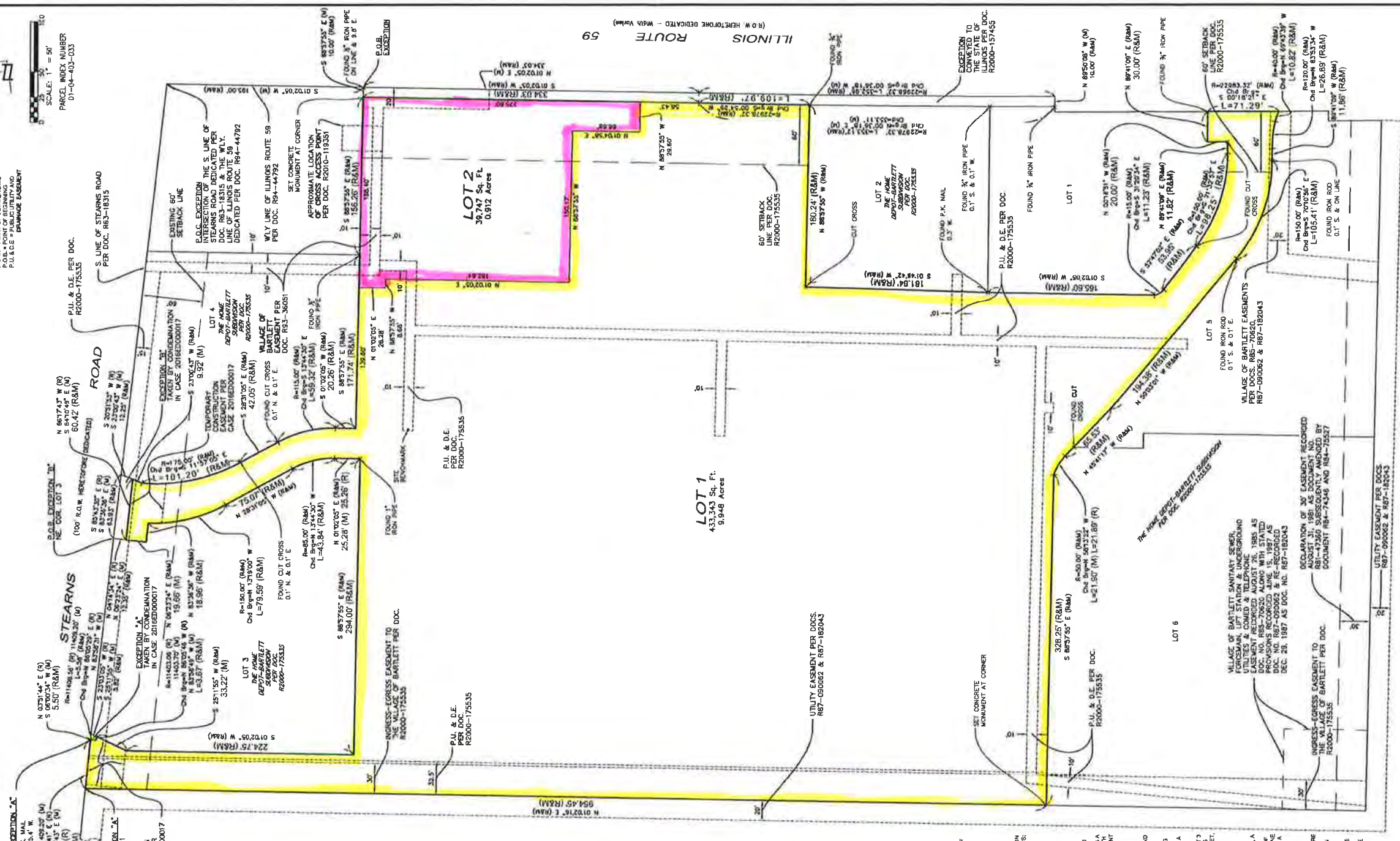
PRELIMINARY/FINAL PLAT OF RESUBDIVISION
LOT 1 OF THE HOME DEPOT BARTLETT SUBDIVISION

PART OF THE SOUTHEAST 1/4 OF SECTION 4 AND THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 40 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

SHEET 1 OF 2

SUBMITTED BY: VILLAGE OF BARTLETT
228 S. MAIN STREET
BARTLETT, IL 60103

ABBREVIATIONS:
PR - RECORD DATA
M - MEASURED DATA
P.C. - POINT OF COMMENCING
P.O.B. - POINT OF BEGINNING
P.M. - POINT OF MONUMENT
P.U. & D.E. - PUBLIC UTILITY AND DEDICATED EASEMENT



SUBJECT MATTER
IRON PIPE OR SURVEYORS NAIL ARE SET AT ALL CORNERS UNLESS OTHERWISE NOTED.

MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

BEARINGS FOR SUBDIVISION ARE BASED ON THE NAD 83 COORDINATE SYSTEM AND ARE INTENDED ONLY TO SHOW THE ANGULAR RELATIONSHIP BETWEEN LINES.

ADJACENT SURVEY
CONTAINING 473.696 SQ. FT. = 10.81 ACRES
SUBDIVISION (SECTION 9)
STATE OF ILLINOIS) SS
COUNTY OF DU PAGE)

THIS IS TO CERTIFY THAT JERRY R. PANOW, ILLINOIS PROFESSIONAL LAND SURVEYOR #6483 HAS SURVEYED, SUBDIVIDED AND PLATTED FOR THE OWNERS THEREOF THAT PART OF THE MAP OF APPLE ORCHARD SHOPPING CENTER SUBDIVISION, RECORDED JUNE 1, 1993 AS DOCUMENT NO. 160, IS A PART OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
NORTH RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, TOWNSHIP 40 NORTH
SECTION 4 AND THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 6, 2003 AS DOCUMENT NUMBER 18000-175533.

EXCEPT THEREFROM THAT PORTION CONVEYED TO THE STATE OF ILLINOIS BY DEED RECORDED OCTOBER 10, 2000 AS DOCUMENT 18000-181548 DESCRIBED AS FOLLOWS:
THAT PART OF THE SOUTHWEST QUARTER OF SECTION 4, AND THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 40 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
PLAT OF APPLE ORCHARD SHOPPING CENTER SUBDIVISION, RECORDED JUNE 1, 1993 AS DOCUMENT NO. 160, AS DESCRIBED THEREIN, EXCEPT THAT THE PORTION OF SAID SECTION 4 AND SECTION 9 HEREBY DESCRIBED WAS RECORDED FEBRUARY 1, 1994 AS DOCUMENT NUMBER 160-111875 DESCRIBED AS FOLLOWS:
MINUTES 05 SECONDS WEST, ALONG SAID WEST LINE, A DISTANCE OF 185.00 FEET FOR A POINT OF POINT OF CURVATURE, THENCE CONTINUING SOUTHWEST, ALONG SAID LAST DESCRIBED WEST LINE, BEING A CURVED LINE CONVEX TO THE WEST, HAVING AN ARC OF 22.29632 FEET, POINT AN ARC DISTANCE OF 25.64 FEET, THENCE NORTH 89 DEGREES 50 MINUTES 00 SECONDS WEST, A DISTANCE OF 23.67 FEET, THENCE NORTHEASTERLY ALONG A CURVE TO THE RIGHT HAVING A POINT AN ARC DISTANCE OF 23.67 FEET, THENCE NORTH 89 DEGREES 50 MINUTES 00 SECONDS WEST, A DISTANCE OF 23.67 FEET, THENCE NORTH 89 DEGREES 50 MINUTES 00 SECONDS WEST, ALONG SAID WEST LINE, A DISTANCE OF 393.11 FEET TO A POINT TANGENT TO THE LAST DESCRIBED CURVE; THENCE NORTH 01 DEGREE 00 MINUTES 00 SECONDS EAST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING.

AND ALSO EXCEPT THEREFROM THAT PORTION TAKEN BY CONDEMNATION IN CASE 2016ED000017 AND DESCRIBED AS FOLLOWS:
(A) COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 1; THENCE EAST 88 DEGREES 48 MINUTES 30 SECONDS TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 48 MINUTES 30 SECONDS EAST, ALONG THE NORTH LINE OF SAID LOT 1, A DISTANCE OF 11.64 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 20 DEGREES 51 MINUTES 30 SECONDS WEST, A DISTANCE OF 32.53 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 19 DEGREES 51 MINUTES 30 SECONDS WEST, ALONG SAID WEST LINE, A DISTANCE OF 32.53 FEET TO THE POINT OF BEGINNING.

ALL IN DUPAGE COUNTY, ILLINOIS, CONTAINING 10.86 ACRES, MORE OR LESS.

AND IN THESE COUNTY, ILLINOIS, HAVING BEEN SET AT ALL CORNERS; POINTS OF CURVATURE AND BEING CORRECTLY REPRESENTED SAID SURVEY AND SUBDIVISION, DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.

IF ANY PARTY CERTAIN THAT THE FOREGOING PROPERTY FALLS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF BARTLETT, ILLINOIS, SAID PART OF SAID MAP OF APPLE ORCHARD SHOPPING CENTER SUBDIVISION, WITHIN A 600 FOOT HALOAR AREA, AS PER MATRICAL RECORD NO. 18000-175533, SHOULD CONTACT THE RATE MAINT. COMMUNITY PANEL NUMBER THX0000274 EFFECTIVE DATE JAN 17 2016.

DATED THIS _____ DAY OF _____ A.D. 2017.

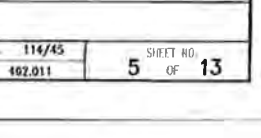
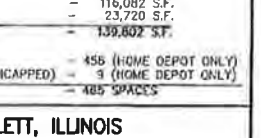
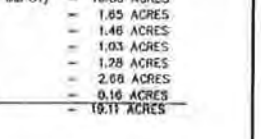
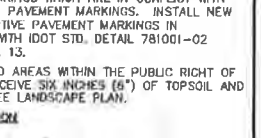
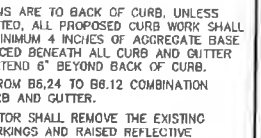
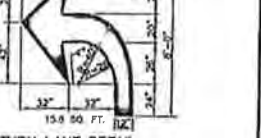
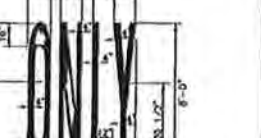
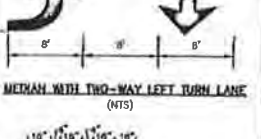
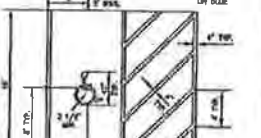
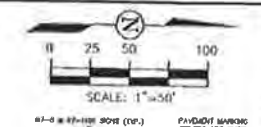
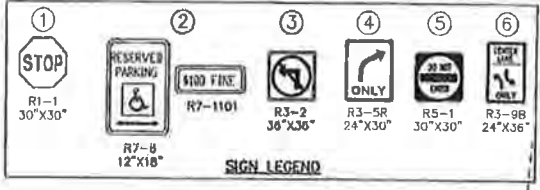
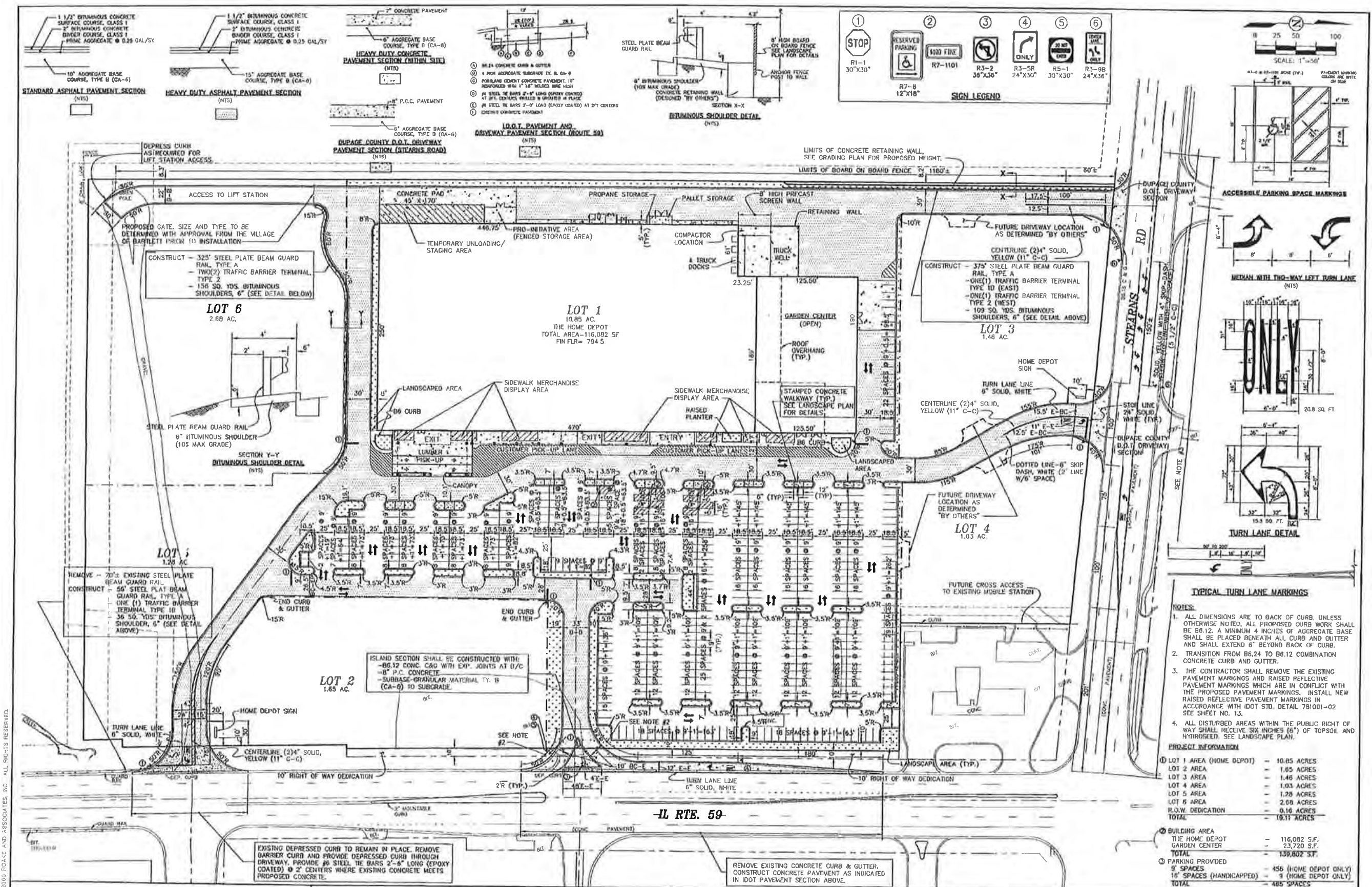
ILLINOIS PROFESSIONAL LAND SURVEYOR #6483
LICENSE EXPIRATION/RENEWAL DATE: NOVEMBER 30, 2018
PROFESSIONAL DESIGN FIRM NO. 184004188

PREPARED FOR: NATIONAL SUPERMARKET PLANNING, INC.
ADDRESS: ROUTE 59 & STEARNS ROAD, BARTLETT, ILLINOIS
BOOK & PG. 124-124/25 DATE: 5/6/2017 JOB NO. 171382L
DRAWN BY: SMR CHECK BY: _____
REVISED: 06-25-17 JRB - 07-10-17 JRB-08-05-17 REV



PRELIMINARY/FINAL RESUBDIVISION OF LOT 1

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ROAKE AND ASSOCIATES, INC.
CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS
1887 HIGH GROVE LN • NAPERVILLE IL 60540 • (830) 365-3232

GREENBERG FARROW ARCHITECTURE
3455 SALT CREEK LANE, SUITE 100
ARLINGTON HEIGHTS, IL 60005
(847) 788-9200

REVISED		REVISIONS			
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	05-25-00	REV. PER VILLAGE REVIEW			
2	08-07-00	90% REVIEW			
3	08-30-00	100% FOR CONSTRUCTION			
4	08-01-00	PER VILLAGE REVIEW			

THE HOME DEPOT - BARTLETT, ILLINOIS

DIMENSION PLAN	
DRY/CDI/DI/SB/KEE/ACC	FILE: 48211E3
SCALE: 1"=50'	DATE: 3-30-00
	JOB NO.: 482.011
TOTAL	139,802 S.F.
TOTAL	485 SPACES

SHEET NO. 5 OF 13

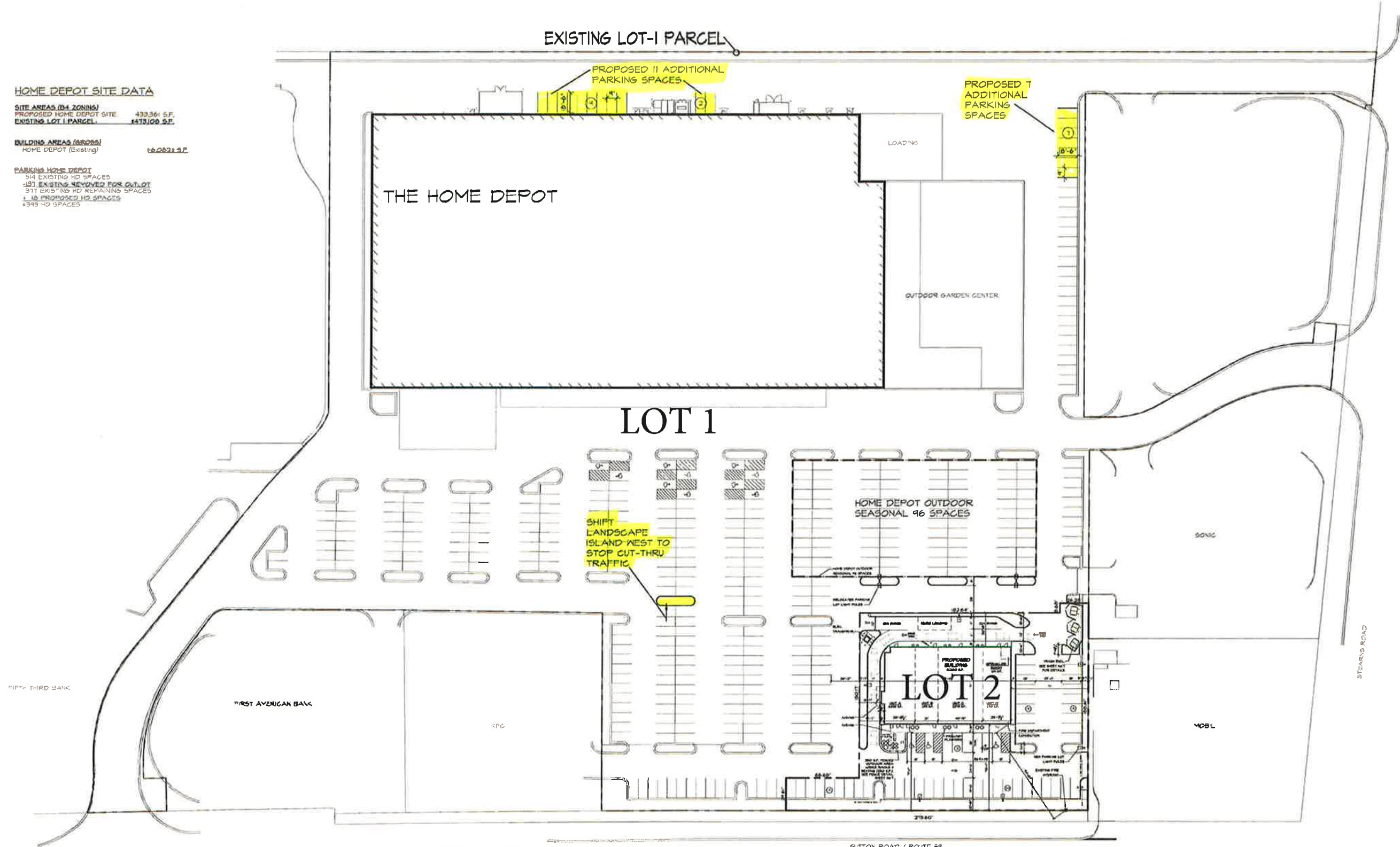
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HOME DEPOT SITE DATA

SITE AREAS (04 ZONING)
 PROPOSED HOME DEPOT SITE 433,361 SF
 EXISTING LOT 1 PARCEL 1473,029 SF

BUILDING AREAS (02020)
 HOME DEPOT (EXISTING) 66,021 S.F.

PARKING HOME DEPOT
 514 EXISTING HD SPACES
 187 EXISTING REMOVED FOR OUTLOT
 311 EXISTING HD REMAINING SPACES
 116 PROPOSED HD SPACES
 393 HD SPACES



OVERALL SITE PLAN
 SCALE: 1"=40' NORTH

SUTTON ROAD / ROUTE 59

8/4/2017
 7/7/2017
 KMA #1504 SITE PLAN 14F.1 5/19/2017

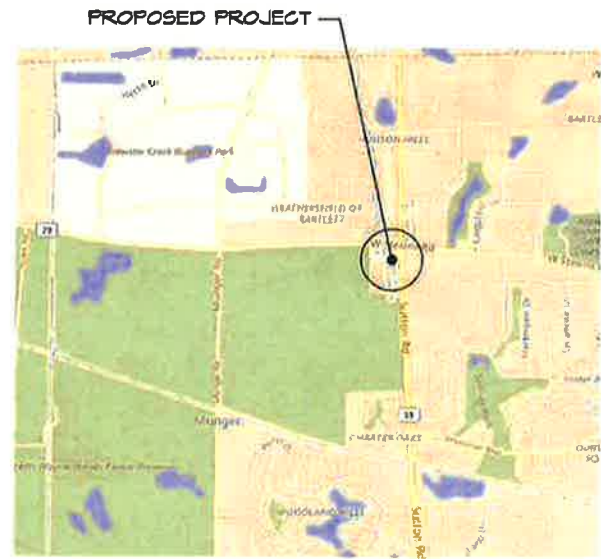
PROPOSED COMMERCIAL BLDG.
 HOME DEPOT OUTLOT / IL RT. 59
 BARTLETT, IL

AETNA DEVELOPMENT CORPORATION
 200 W. MADISON STREET
 CHICAGO, ILLINOIS

KMA & ASSOCIATES, INC. ARCHITECTS
 1161 LAKE COOK ROAD
 DEERFIELD, ILLINOIS



SECOND SITE PLAN AMENDMENT FOR LOT 1



LOCATION PLAN
SCALE: NTS
NORTH

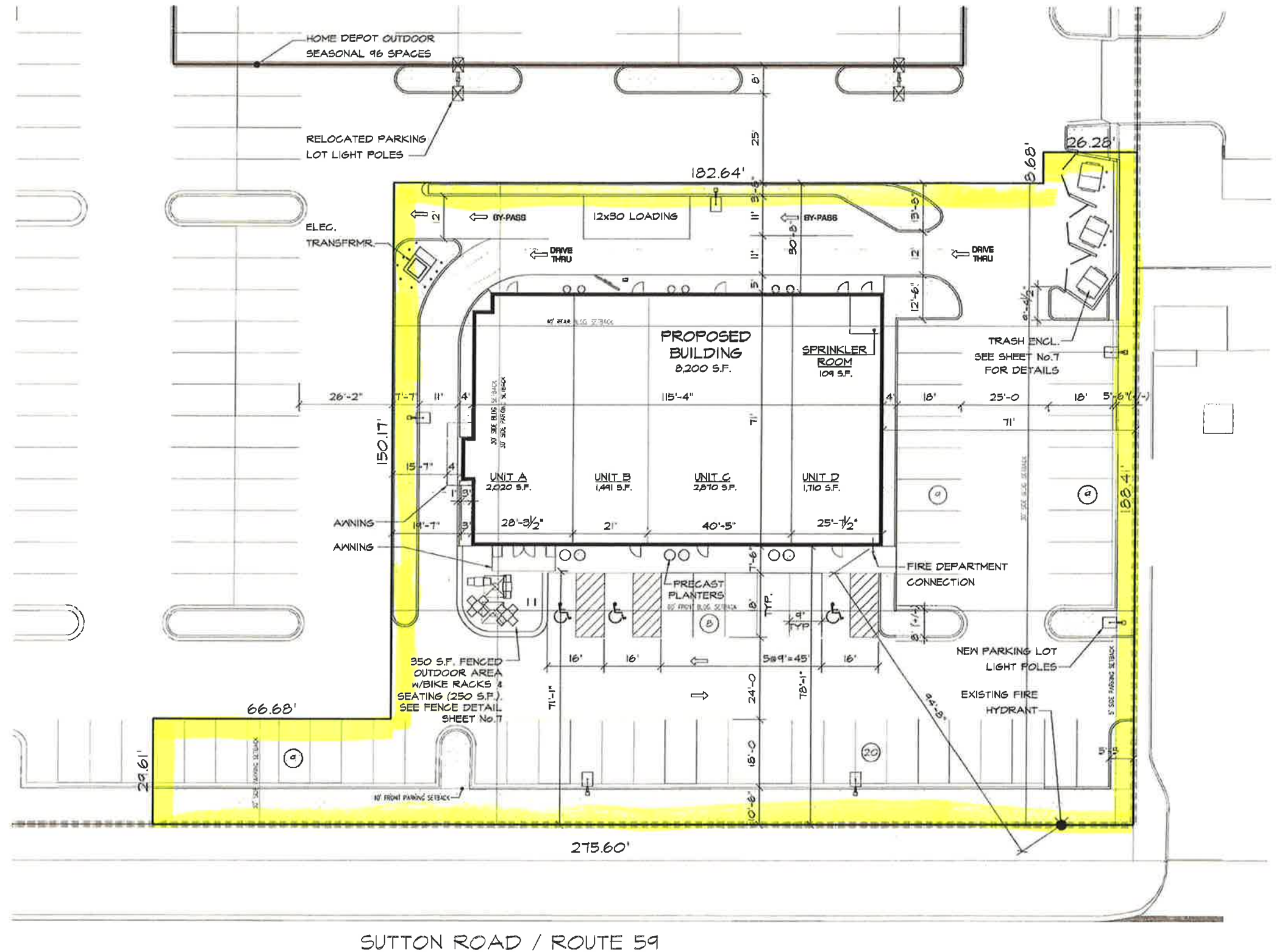
OUTLOT SITE DATA

SITE AREAS (BY ZONING)	
PROPOSED OUTLOT SITE	59,747 S.F.
F.A.R. (0.5 MAX.)	0.2
OPEN SPACE (15% MIN.)	6,066 S.F. (10.15%)

SET BACKS		
FRONT BUILDING	60'	71'-1"
FRONT PARKING	10'	10' (EXIST)
REAR BUILDING	40'	50'-6"
SIDE BUILDING (NORTH)	50'	71'
SIDE BUILDING (SOUTH)	80'	18'-1"
SIDE PARKING (NORTH)	5'	5' (EXIST)
SIDE PARKING (SOUTH)	30'	0' (EXIST)

PROPOSED BUILDING AREAS (GROSS)	
RETAIL (Proposed)	8,200 S.F.

PARKING RETAIL REST.		
<i>(Interior Areas per Zoning Code)</i>		
Retail 6/80-(15%) Storage, Toilets, Non-Public, Etc.	5,288 S.F./200 Retail	21 CARS
Rest. 2,020-1,040(34%) Storage, Toilets, Non-Public, Etc.	930 S.F. Interior/60 Rest.	6 CARS
	250 S.F. Outdoor/60 Rest.	5 CARS
* or Restaurant Seats & Employees	+6 emp/3 = 2	
	+33 mt. seats/3 = 11	
	+12 outdoor season seats/3 = 4	or 40 CARS
TOTAL REQUIRED per Area		44 CARS
TOTAL PROVIDED		55 CARS



OUTLOT SITE PLAN
SCALE: 1"=20'
NORTH

8/4/2017
7/7/2017
5/19/2017
KMA #1504 SITE PLAN 14F.1

PROPOSED COMMERCIAL BLDG.

HOME DEPOT OUTLOT / IL RT. 59
BARTLETT, IL

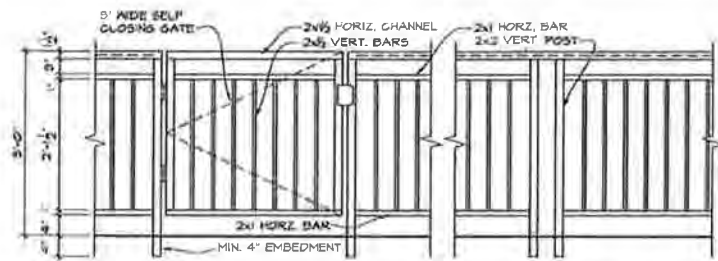
AETNA DEVELOPMENT CORPORATION

200 W. MADISON STREET
CHICAGO, ILLINOIS

KMA & ASSOCIATES, INC. ARCHITECTS

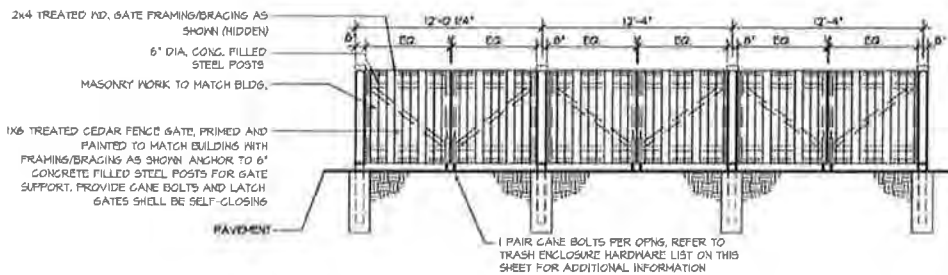
1161 LAKE COOK ROAD
DEERFIELD, ILLINOIS



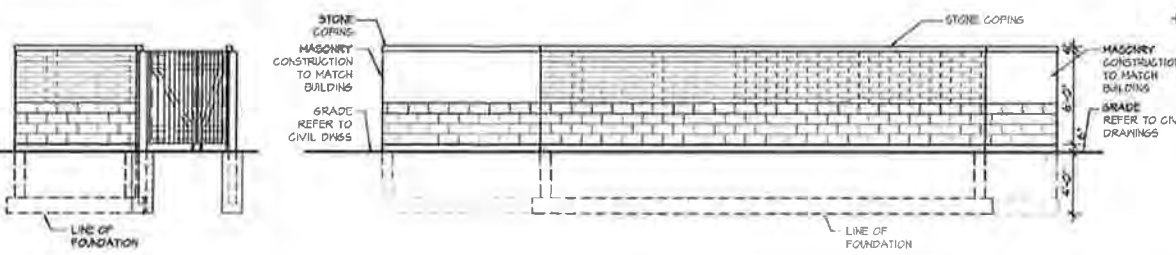


TENANT PATIO FENCE
SCALE: 3/4" = 1'-0"

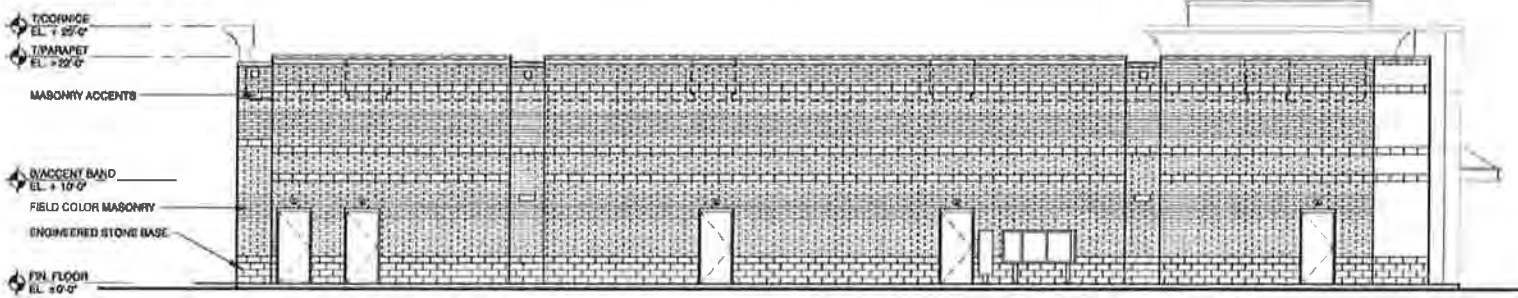
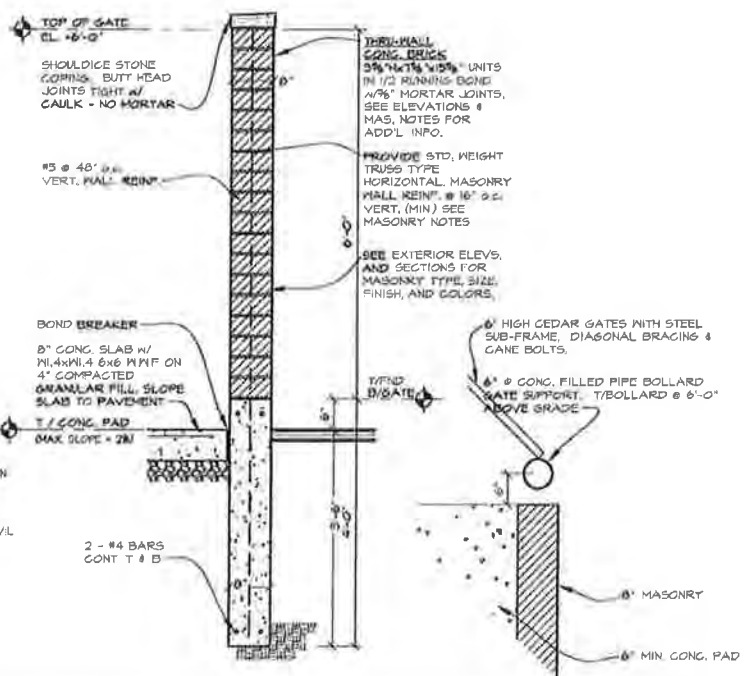
EXTERIOR FINISH LIST	
MASONRY FIELD COLORS	ECHOLON MASONRY "ROCKTON BEIGE"
MASONRY ACCENTS AND COPINGS	ECHOLON MASONRY SMOOTH-FACE COLOR: "WHITE"
STONE BASE	ECHOLON MASONRY SPLIT-FACE COLOR: "WHITE"
EYE ENTRANCE AND DRIVE THRU	DRYVIT "GRAY FLAMEL"
EYE CORNICE	DRYVIT "MOONLIGHT"
METAL FINISHES	BLACK
METAL COPING	PAG-GLAD "STONE WHITE"
PATIO FENCE	BLACK
TRASH ENCLOSURE GATES	CEDAR PAINTED SW1018 "LATTE"
STOREFRONT ALUMINUM	CLEAR ANODIZED ALUMINUM
STOREFRONT GLAZING	1" CLEAR INSULATED GLASS
HOLLOW METAL DOORS AND FRAMES	PAINT TO MATCH ADJACENT MASONRY
WALL MTD LIGHT FIXTURES	COLOR TO MATCH ALUM. STOREFRONT



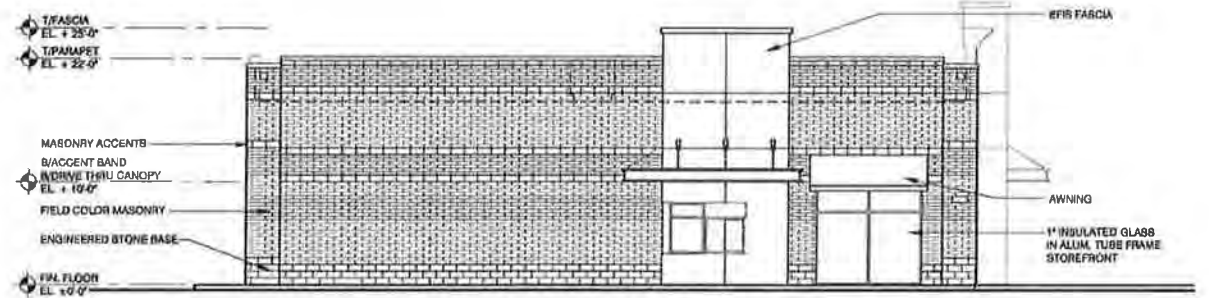
TRASH ENCLOSURE ELEVATIONS
SCALE: 3/16" = 1'-0"



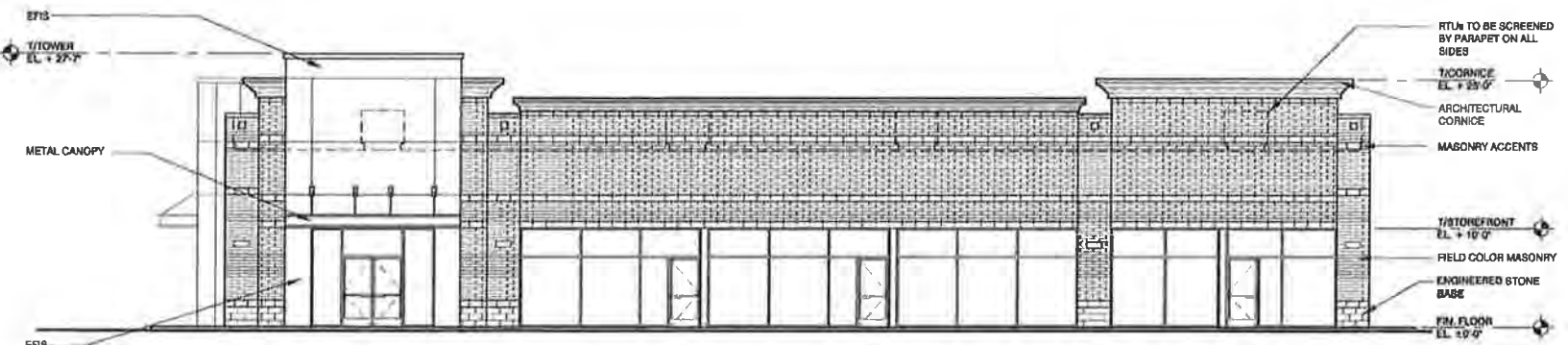
TRASH ENCLOSURE DETAIL & SECTION
SCALE: 3/4" = 1'-0"



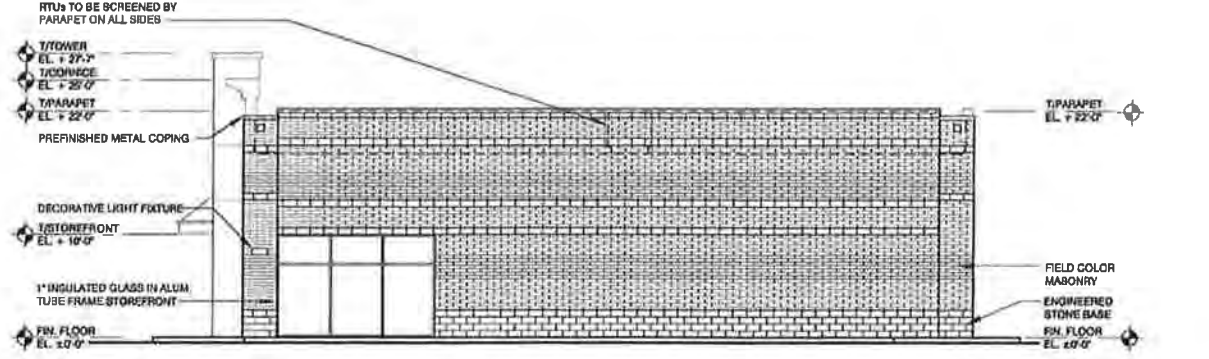
WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

KMA PROJECT #1504 ELEV2
7/7/2017
5/19/2017

PROPOSED COMMERCIAL BLDG.
HOME DEPOT OUTLOT / IL RT. 59
BARTLETT, IL

AETNA DEVELOPMENT CORPORATION
200 W. MADISON STREET
CHICAGO, ILLINOIS

KMA & ASSOCIATES, INC. ARCHITECTS
1161 LAKE COOK ROAD
DEERFIELD, ILLINOIS



ELEVATIONS



EAST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

*BUILDING SIGNAGE WILL BE PURSUANT TO VILLAGE CODE

ELEVATIONS

5/19/2017

PROPOSED COMMERCIAL BLDG.

HOME DEPOT OUTLOT / IL RT. 59
BARTLETT, IL

AETNA DEVELOPMENT CORPORATION

200 W. MADISON STREET
CHICAGO, ILLINOIS

KMA & ASSOCIATES, INC. ARCHITECTS

1161 LAKE COOK ROAD
DEERFIELD, ILLINOIS





EAST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

*BUILDING SIGNAGE WILL BE PURSUANT TO VILLAGE CODE

ELEVATIONS

5/19/2017

PROPOSED COMMERCIAL BLDG.

HOME DEPOT OUTLOT / IL RT. 69
BARTLETT, IL

AETNA DEVELOPMENT CORPORATION

200 W. MADISON STREET
CHICAGO, ILLINOIS

KMA & ASSOCIATES, INC. ARCHITECTS

1161 LAKE COOK ROAD
DEERFIELD, ILLINOIS



Aetna Retail

6WC Stewart School Road and Route 69
Bartlett, Illinois

DAVID R. McCALLUM ASSOCIATES, INC.
LANDSCAPE ARCHITECTS
30 N. Winthrop Avenue | Liberty, Ohio 43038
T 614.382.0100 | F 614.382.0101

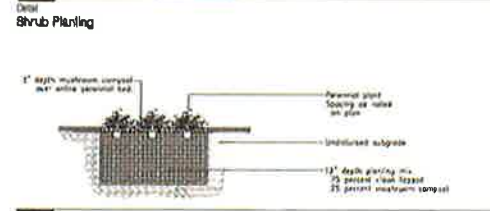
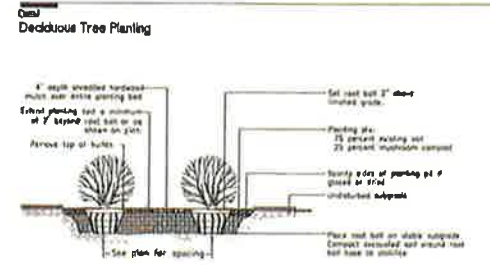
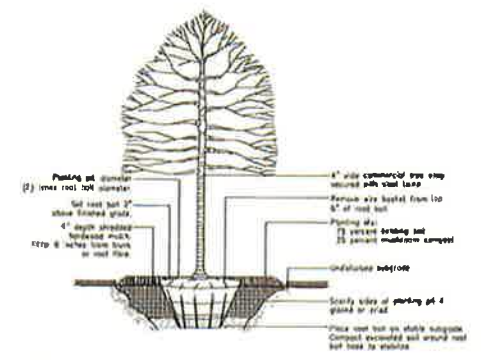


K&A & ASSOCIATES, INC. ARCHITECTS
161 Lake Cook Road, Suite C | Deerfield, Ohio 43015
T 614.924.2959 | F 614.924.2958

Landscape Plan

2	Per Village Comments	06.30.17
1	Final Review	05.15.17
Mark	Description	Date
	Reference	

Number: 466317
 Scale: 1" = 20'
 File: 466317.MXD
 Sheet: L10



Notes

24" Planters to be (3) Riverside Plastics Model RC-36/194 Gray planters or approved alternate; provide drainage hole and 6" depth gravel in bottom of planter, fill with planting mix.
 24" Planters to be (3) Riverside Plastics Model RC-29/194 Gray planters or approved alternate; provide drainage hole and 6" depth gravel in bottom of planter, fill with planting mix.
 Riverside Plastics, Inc., P.O. Box 421, Farmington, KY 41041 (603) 493-4345, riverside-plastics.com

To insure visibility, shrubs shall not exceed a mature height of 10' (10') above pavement on landscape islands at the end of parking rows.
 Branching shall start no less than six feet (6') above the pavement measured from pavement level.

Plant List

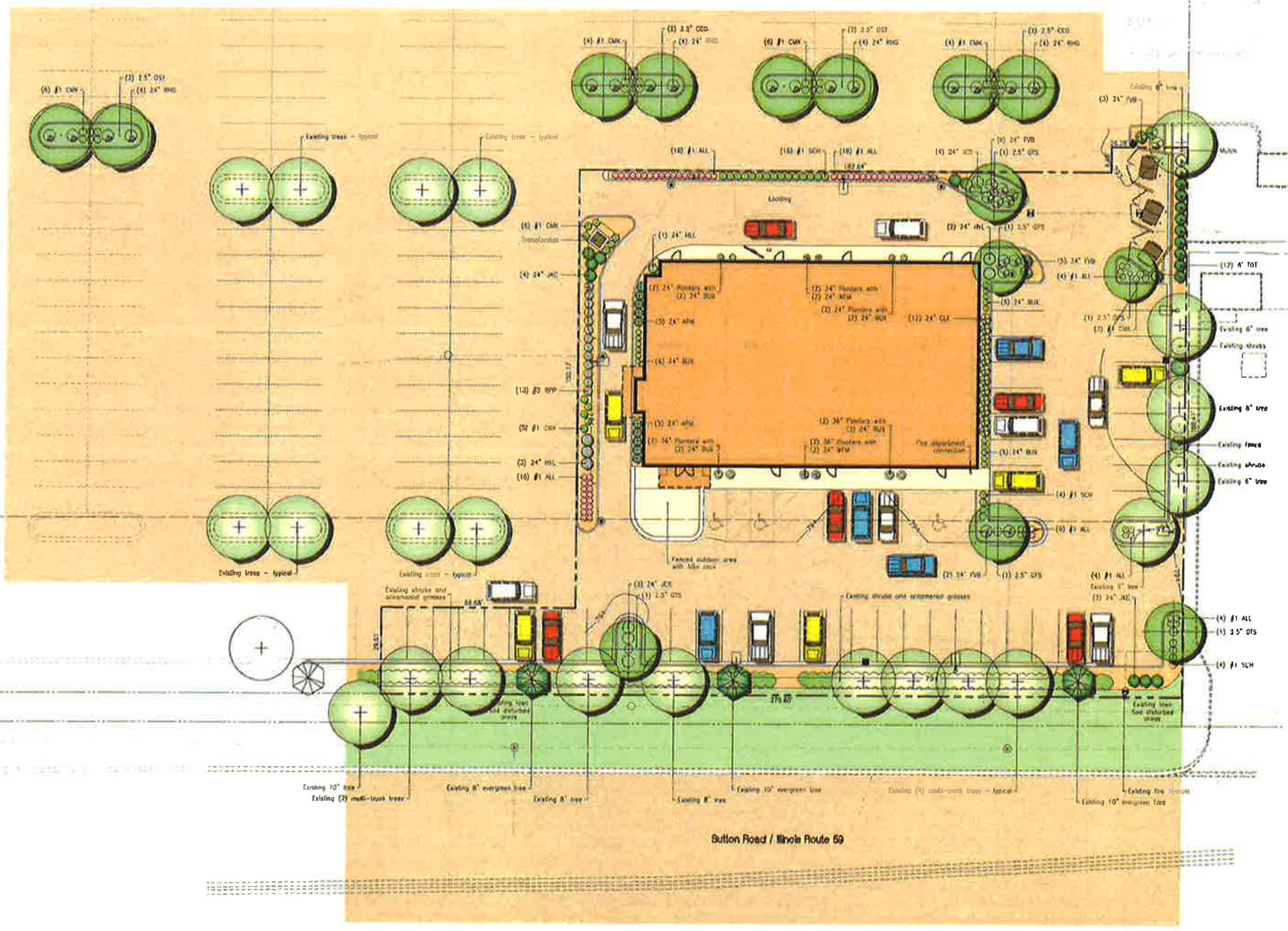
Key	Qty	Size	Botanical Name	Common Name	Remarks
CCO	4	2.5'	<i>Corylus americana</i> 'Prairie Pride'	Sharon Pride Common Hickory	BB
CPS	2	2'	<i>Corylus alba</i> 'Puritan Spirit'	Puritan Spirit Common	BB
CIS	4	2.5'	<i>Quercus imbricaria</i> var. <i>laevis</i> 'Styline'	Styline White Oak	BB
OSt	4	2.5'	<i>Quercus virginiana</i>	Pin Oak	BB

Key	Qty	Size	Botanical Name	Common Name	Remarks
ARM	10	24"	<i>Arisaema matricaria</i> 'Low Spine'	Low Spine Arisaema	BB
BUZ	24	24"	<i>Buxus microcarpa</i> 'Doronic'	Chippendale Green Boxwood	BB
CLE	12	24"	<i>Cornus alba</i> 'Hamburg'	Red Dogwood	BB
FVB	18	24"	<i>Fraxinus viridis</i> 'Doronic'	White Green Ash	BB
HLL	1	24"	<i>Hamamelis paniculata</i> 'Little Leaf'	Little Leaf Hamamelis	BB
HSL	5	24"	<i>Hamamelis paniculata</i> 'Sweetgum'	Sweetgum Hamamelis	BB
JCS	7	24"	<i>Juniperus chinensis</i> var. <i>horizontalis</i>	Horizontal Juniper	BB
JCC	7	24"	<i>Juniperus chinensis</i> 'Spartea'	Spartea Juniper	BB
RND	18	24"	<i>Rhus glabra</i> 'Spartea'	Spartea Sumac	BB
SPS	13	24"	<i>Spiraea japonica</i> 'Purple Princess'	Purple Princess Spirea	BB
TOT	12	24"	<i>Taxus canadensis</i> 'Tangerine'	Tangerine Red Pine	BB
ARM	4	24"	<i>Weylandia flaccida</i> 'Munster'	Munster Flag Iris	BB

Key	Qty	Size	Botanical Name	Common Name	Remarks
ALL	70	1"	<i>Allium 'Summer Beauty'</i>	Summer Beauty Allium	Container
CHK	34	1"	<i>Chamaecrista nictitans</i> 'Kort Rooster'	Kort Rooster Tickler	Container
SCIL	23	1"	<i>Scilla maritima</i>	Blue Bell	Container

Calculations

SITE AREA (B4 ZONING)	34,147 S.F.
PROPOSED OUTLOT SITE	0.2
F.A.R. (0.5 MAX)	6,068 S.F. (17.5%)
OPEN SPACE (15% MIN)	



LANDSCAPE PLAN

COMMUNITY DEVELOPMENT MEMORANDUM
17-176

DATE: August 31, 2017

TO: The Chairman and Members of the Zoning Board of Appeals

FROM: Angela Zubko, Village Planner

RE: **Zoning Ordinance Updates – Chapter 5 – OR Office/Research District
Chapter 3 – Accessory Uses, Buildings
and Structures (Housekeeping)**

CHAPTER 5 – OR OFFICE/RESEARCH DISTRICT

Attached for your review is the updated Chapter 5 of the Zoning Ordinance. ***The previous chapter was 6 pages in length; the revised Chapter 5 has been condensed to just 3 pages.*** Charts are now being utilized to be more user friendly and categories are being condensed, thereby simplifying the Ordinance.

POLICY ISSUES

Staff updated this Section to match the regulations regarding Places of Assembly, Religious Institutions and Lodges (fraternal and civic) within the Residential Zoning Districts previously approved by the Zoning Board of Appeals and Village Board.

In this revised ordinance, Places of Assembly, Religious Institutions, Lodges (fraternal and civic), equal or less than 10,000 sq. ft. would be permitted by right in the OR Office/Research Zoning District, and as a Special Use if greater than 10,000 sq. feet,

Staff believes this revised ordinance more closely meets the Religious Land Use and Institutionalized Persons Act requirements.

CHAPTER 3- ACCESSORY USES, BUILDINGS AND STRUCTURES

HOUSKEEPING ISSUES- Section 10-3-5 (REGULATIONS FOR SPECIFIC STRUCTURES AND USES)

Chapter 4A (Residential Zoning Districts) was approved by Ordinance #2017-24 (*An Ordinance Amending the Bartlett Zoning Ordinance Chapter 4A: Residential Districts and Chapter 2: Rules and Definitions*) on March 21, 2017, however two sections in Chapter 3 regarding Commercial Vehicles need to be officially modified and repealed by an Ordinance for codification purposes.

The following is to be **modified** from Section 10-3-5.E.14:

14. Any commercial vehicle in connection with the home occupation which is stored or parked on the lot must be in accordance with ~~subsection L of this section.~~ the regulations in Chapter 4A of this title.

The following is to **be deleted** from Section 10-3-5.L of the Zoning Ordinance:

- ~~L. Vehicles, Commercial: Commercial vehicles, including those that contain equipment racks to carry commercial equipment and those that have signage and lettering on any side, front or rear of the vehicle, may be parked or stored on a residential zoning lot if located within a fully enclosed garage; or if visible from adjacent rights of way or properties, shall meet all of the following requirements:~~
- ~~1. The commercial vehicle must display an A, B or D license plate; provided, however, a commercial vehicle with a D license plate shall not exceed a height of eight feet six inches (8'6") tall measured from the existing grade to the top of the vehicle roof;~~
 - ~~2. The commercial vehicle must be parked on a paved surface at least ten feet (10') from the side or rear property line of the zoning lot;~~
 - ~~3. The equipment and materials stored in the bed of a pickup or flatbed truck must be covered by a commercially manufactured bed cap, cover (e.g., tonneau cover) or tarp; and~~
 - ~~4. The commercial vehicle must be owned or legally controlled by one of the owners or occupants of the principal use.~~

RECOMMENDATION

1. The proposed Text Amendment is attached for your review.
2. Staff recommends **approval** of the proposed Text Amendments to Chapters 5 and 3 of the Zoning Ordinance.

CHAPTER 5 ~~Article A~~ ARTICLE A.: ~~O-R~~ OR OFFICE/RESEARCH DISTRICT

Organization:

- 10-5-1: Uses in the OR Office/Research District
- 10-5-2: Additional Development Standards for Specific Uses
- 10-5-3: Special Requirements in the OR Office/Research District
- 10-5-4: Area, Bulk, Density and Setback Requirements

10-5-1: USES IN THE OR OFFICE/RESEARCH DISTRICT:

A. Permitted Uses:

Uses identified with a “P” in Table 5-1 are permitted as of right in the OR Office/Research District, provided that uses comply with all other applicable standards of this Ordinance. No building or premises improved or unimproved shall be used, and no building shall be hereafter erected, converted, enlarged, reconstructed, or structurally altered, except for a purpose permitted in the district in which the building or land use is located as shown in Table 5-1, except for: Uses lawfully established prior to the effective date of this Ordinance or in accordance with Chapter 10, Nonconforming Lots, Buildings and Uses, of this Ordinance.

B. Special Uses: Uses identified with an “S” in Table 5-1 are considered special uses and may be permitted in the subject district only after review and approval in accordance with Chapter 13 (Administration and Enforcement) of this Ordinance.

C. Prohibited Uses: Uses listed in Table 5-1 and not identified with a “P” or “S” are expressly prohibited in the subject district. Uses not listed in Table 5-1 are also prohibited; however, the Village Board, upon recommendation from the Plan Commission, may permit a use that is not listed in accordance with Section 10-1-3.F of this Ordinance.

D. Accessory Uses: Accessory Uses are permitted in the OR Office/Research District as regulated in Chapter 3 (Accessory Uses, Buildings and Structures) of this Ordinance.

**TABLE 5-1
USES IN THE OR OFFICE/RESEARCH DISTRICT**

USE	OR	Additional Standards
RESIDENTIAL USES		
Community Residence	S	10-5-2
Residential Rehab/ Personal Care Facility	S	
Residential uses on the second floor & above	P	
Senior Housing	S	
NONRESIDENTIAL USES		
Day Care, Center (Adult or Child)	S	
Financial institutions	P	
Fitness/Recreation facilities	S	
Hospitals	S	
Medical and dental clinics	P	
Motor Vehicle service stations	S	10-5-2

USE	OR	Additional Standards
Offices, business and professional, including research facilities and tech centers or laboratories	P	
Places of Assembly, Religious Institutions, Lodge (fraternal and civic) equal or less than 10,000 sq. ft.	P	
Places of Assembly, Religious Institutions, Lodge (fraternal and civic) greater than 10,000 sq.ft.	S	10-5-2
Public/Government Facility	P	
Restaurants (including outdoor seating)	P	
Restaurants with Liquor	S	
Schools (Professional, colleges or universities) Private or Public (Nonboarding)	P	
Urgent Care Facilities	P	
MISCELLANEOUS USES		
Accessory Uses/Structures	P	10-5-2
Planned Unit Development (Plan)	S	10-9
Utilities (Private), Cellular Tower	S	

10-5-2: ADDITIONAL DEVELOPMENT STANDARDS FOR SPECIFIC USES IN THE OR OFFICE/RESEARCH DISTRICT:

A. Community Residence:

1. A Community Residence shall have a maximum of eight (8) unrelated persons residing in it, with a minimum of one but not more than three (3) paid professional support staff provided by the sponsoring agency, either living with the residents on a twenty four (24) hour basis, or present whenever residents are present at the dwelling to provide supervision and support.
2. The Community Residence is located at least (1,200') feet, measured in all directions, from any other building used as a Community Residence pursuant to this Title, or a "Community Residence " as defined pursuant to any adjacent jurisdiction's Zoning Ordinance.
3. Services, including, but not limited to, counseling and other treatment shall be provided for only persons residing at the Community Residence.

B. Gasoline Motor Vehicle Service Stations:

1. No major repair, body and fender work.
2. No painting of vehicles.
3. No storage of vehicles.
4. No rental of cars, trucks or trailers.
5. All work shall be conducted within a completely enclosed building.

C. Places of Assembly, Religious Institutions and Lodges (Fraternal and Civic): A Traffic Impact Study shall be required for all places of assembly, religious institutions, lodges (fraternal and civic) greater than 10,000 square feet.

10-5-3: SPECIAL REQUIREMENTS IN THE OR OFFICE/RESEARCH DISTRICT:

- A. Enclosure of Operations: Office/Research Uses:** All business, servicing and uses, including storage, shall be conducted within completely enclosed buildings, unless otherwise stated in this Title.

- B. **Underground ~~Utilites~~Utility Facilities:** All **utilities** utility lines, including electric power and telephone lines, shall be located underground.
- C. **~~Traffic/Access Systems~~ Traffic Analysis:** The number and location of access points to be provided for any O-R development **if required, the traffic analysis** shall be determined by a traffic study prepared by a qualified traffic engineer and subject to review and approval by the Village Board.
- D. **Site Plan Review:** A Site Plan approved according to **Review or Administrative Site Plan Review and approval in accordance with** the regulations in Chapter 13 of this Title shall be required prior to the approval of a building permit for any property in the O-R **OR** District, or prior to the rezoning of property to an O-R **OR** District. (~~Ord. 78-40, 5-16-1978~~)
- E. **All uses shall conform to the applicable requirements set forth in this Title.**

10-5-4: AREA, BULK, DENSITY AND SETBACK REQUIREMENTS:

Scope and Applicability of Requirements: Except as may be provided elsewhere in this Ordinance, the provisions of this Chapter shall establish the minimum and maximum requirements of area, bulk, density, and setbacks for the OR Office/Research District. No building or structures shall be erected, converted, enlarged, reconstructed, or structurally altered in violation of the requirements of this Chapter.

**TABLE 5-2
OR OFFICE/RESEARCH DISTRICT BULK REGULATIONS**

Minimum Contiguous Area		2 Acres
Minimum Lot Area		Sufficient Area to Accommodate the Use
Minimum Lot Width		60'
Maximum Building Height		50' ⁽¹⁾
Maximum Lot Coverage (including accessory buildings)		30%
Maximum Floor Area Ratio		0.5
Required Yards	Front Yard	30'
	Side Yard	15'
	Corner Side Yard	30'
	Side Yard adjacent to a Residential District	30'
	Rear Yard	30'
Parking Setbacks	Front Yard	20'
	Side Yard	10'
	Corner Side Yard	20'
	Rear Yard	15'
Open Space Requirement		20%
⁽¹⁾ Any structure exceeding the height shall require a Special Use Permit.		

Organization:

- 10-5A-1: ~~RESERVED:~~
- 10-5A-2: ~~USE, LOT AND BULK REGULATIONS:~~
- 10-5A-3: ~~PERMITTED USES:~~
- 10-5A-4: ~~SPECIAL USES:~~
- 10-5A-5: ~~ACCESSORY USES:~~
- 10-5A-6: ~~PROHIBITED USES:~~
- 10-5A-7: ~~SITE AND STRUCTURE PROVISIONS:~~

10-5A-1: RESERVED:

(Ord. 2013-45, 6-4-2013)

10-5A-2: USE, LOT AND BULK REGULATIONS:

~~Use, lot and bulk regulations applying specifically to the O-R office/research district are set forth in the sections which follow. Also applying to the O-R district are regulations set forth in other chapters of this title as follows:~~

- ~~Chapter 1 General Zoning Provisions~~
- ~~Chapter 2 Rules and definitions~~
- ~~Chapter 9 Planned Unit Developments~~
- ~~Chapter 10 Nonconforming lots, buildings and uses~~
- ~~Chapter 11 Off street parking and loading~~
- ~~Chapter 11A Landscaping, screening and tree preservation~~
- ~~Chapter 12 Signs~~
- ~~Chapter 13 Administration and enforcement~~

~~(Ord. 78-40, 5-16-1978; amd. Ord. 91-26, 4-16-1991)~~

10-5A-3: PERMITTED USES:

~~Uses of land or buildings, as hereinafter listed, shall be permitted in accord with the conditions specified. Unless otherwise specifically set forth, wherever a permitted use is named as a major category, it shall be deemed to include only those itemized uses listed under the said category. No building or zoning lot in the O-R district shall be devoted to any use other than a use permitted in the O-R district and no building or structure in an O-R district shall be erected, altered, enlarged or occupied except for a permitted use in the O-R district unless otherwise specifically allowed by this title.~~

~~Uses lawfully established on the effective date of this Title and rendered nonconforming by the provisions thereof shall be subject to the regulations of Chapter 10 of this Title.~~

~~The following uses are permitted in the O-R District:~~

- ~~A. Offices, business and professional, including research facilities.~~

- ~~B. Medical and dental clinics.~~
- ~~C. Professional schools, including:

 - ~~1. Commercial art~~
 - ~~2. Cosmetology~~
 - ~~3. Barber~~
 - ~~4. Correspondence and stenographic~~
 - ~~5. Business~~
 - ~~6. Data processing~~
 - ~~7. Electronics and electricity~~
 - ~~8. Machine tabulation~~
 - ~~9. Trade schools~~~~
- ~~D. Laboratories, including:

 - ~~1. Analytical and chemical~~
 - ~~2. Commercial analytical~~
 - ~~3. Scientific, experimental and research~~
 - ~~4. Medical and dental~~
 - ~~5. Optical~~~~
- ~~E. Radio and television broadcasting studios.~~
- ~~F. Financial institutions and offices.~~
- ~~G. Public land and buildings exclusive of maintenance shops. (Ord. 78-40, 5-16-1978)~~
- ~~H. Residential uses on the second floor in zoning lots fifteen thousand (15,000) square feet or less in existence prior to 1978. (Ord. 86-18, 3-18-1986)~~

10-5A-4: SPECIAL USES:

~~Special uses, as hereinafter listed, may be allowed subject to the issuance of special use permits in accordance with the provisions of Chapter 13 of this Title. Unless otherwise specifically set forth, wherever a special use is named as a major category, it shall be deemed to include all and only those itemized uses listed under the said major category.~~

~~The following uses are special uses in the O-R District.~~

~~Buildings in excess of fifty feet (50') in height used for a permitted or special use as set forth above.~~

~~Convention and/or exhibition halls and centers.~~

~~Gasoline service stations, but not including major repair, body and fender work and/or painting, the storage and/or rental of cars, trucks or trailers.~~

~~Health clubs and recreational facilities, such as swim and racquet clubs, stadia, etc.~~

~~Heliports.~~

~~Hospitals, nursing homes, sheltered care homes, intermediate care facilities, homes for the aged.~~

~~Planned unit developments.~~

~~Public utility and service uses.~~

~~Restaurants with accessory cocktail lounges incidental to and designed primarily for the use by tenants of an office complex. (Ord. 78-40, 5-16-1978)~~

~~10-5A-5: ACCESSORY USES:~~

~~Accessory uses, buildings or other structures customarily incidental to and commonly associated with a permitted or special use may be permitted provided they are operated and maintained under the same ownership and on the same lot as the permitted use, do not include structures or structural features inconsistent with the permitted use.~~

~~Accessory uses may include the following:~~

~~Cafeterias, candy shops and health facilities for employees of the company or companies on the premises provided no exterior advertising of such facilities is provided.~~

~~Garages, carports, and parking spaces for lawful occupants or users of permitted or special uses on the same premises.~~

~~Signs, as regulated in Chapter 12 of this Title.~~

~~Tool houses, sheds, etc. for storage of supplies. (Ord. 78-40, 5-16-1978)~~

~~10-5A-6: PROHIBITED USES:~~

~~All uses not expressly authorized under "Permitted, Special or Accessory Uses" are expressly prohibited.~~

~~The following, and uses similar to the following, illustrate prohibited uses: (Ord. 78-40, 5-16-1978)~~

~~Adult bookstores.~~

~~Adult cabarets.~~

~~Adult entertainment establishments.~~

~~Adult mini-motion picture theaters.~~

~~Adult motion picture theaters. (Ord. 96-4, 2-6-1996)~~

~~Commercial and business uses except as permitted above.~~

~~Industrial and manufacturing uses. (Ord. 78-40, 5-16-1978)~~

~~Monoash landfills, transfer stations, balefills, hazardous waste landfills, incinerators, garbage dumps, sanitary and solid waste landfills, and uses accessory to or related to said uses. (Ord. 88-67, 7-19-1988)~~

~~Residential uses including single-family or multi-family, except as permitted in subsection 10-5A-3H of this Article. (Ord. 86-18, 3-18-1986)~~

~~Other uses, including such other uses as deemed by the Village Board to be incompatible with the intended character of the O-R Office/Research District. (Ord. 78-40, 5-16-1978)~~

~~10-5A-7: SITE AND STRUCTURE PROVISIONS:~~

~~F. Minimum Contiguous Area: The minimum contiguous area for any land zoned in accordance with the O-R District shall be ten (10) acres.~~

~~G. Minimum Lot Area: A ground area of not less than two (2) acres shall be designated, provided and continuously maintained for each principal structure, except as allowed in planned unit developments.~~

~~H. Minimum Lot Width: A minimum lot width of not less than two hundred feet (200') shall be provided for each lot used for a permitted use.~~

~~I. Required Yards: Required yards shall be provided and maintained in the Office/Research District as described below:~~

~~1. Required Front Yard: A required front yard of fifty feet (50') or one and one-half (1¹/₂) times the height of the principal structure, whichever is greater, shall be provided and maintained.~~

~~2. Required Side Yards: Required side yards of thirty feet (30') shall be provided and maintained.~~

~~On a corner side yard, a required side yard shall be provided and maintained at a depth equal to the required front yard.~~

~~Structures in excess of three (3) stories in height shall require interior side yards equal to the height of the structure.~~

~~Property adjoining a residential district shall require a side yard adjacent to the residential district equal in depth to the required front yard.~~

~~3. Required Rear Yard: A required rear yard shall be provided and maintained equal in depth to the required front yard.~~

~~J. Building Height: No structure or portion thereof excluding a mechanical penthouse shall exceed a height of fifty feet (50'). However, taller buildings may be permitted as special uses.~~

~~K. Maximum Building Coverage: No principal building or structure with its accessory buildings shall occupy in excess of thirty percent (30%) of the area of the lot.~~

~~L. Floor Area Ratio: The maximum floor area ratio (FAR) for all structures shall be 0.5 except for special uses where the FAR may be increased to a maximum of 0.8.~~

~~M. Special Requirements: Uses in the O-R Office/Research District shall conform to the following requirements:~~

1. ~~Parking and Loading Requirements: All uses shall conform to the applicable requirements set forth in Chapter 11 of this Title.~~

~~Parking or loading spaces shall not be located nearer than twenty feet (20') from a front or corner side lot line, ten feet (10') from an interior side lot line or fifteen feet (15') from a rear lot line. (Ord. 78-40, 5-16-1978)~~

~~All garage doors and loading areas shall be fully screened in accordance with the provisions in subsection 10-11A-4E1c of this Title. (Ord. 91-26, 4-16-1991)~~

2. ~~Sign Requirements: All uses shall conform to the applicable requirements set forth in Chapter 12 of this Title.~~

3. ~~Trucks: The parking of trucks as an accessory use, when used in the conduct of a permitted business listed in the B-2 District, shall be limited to vehicles of not over one and one-half (1½) tons' capacity when located within one hundred fifty feet (150') of a residence district boundary line. (Ord. 78-40, 5-16-1978)~~

4. ~~Refuse Areas: All refuse areas shall be screened in accordance with provisions in subsection 10-11A-4E1a of this Title. (Ord. 91-26, 4-16-1991)~~

5. ~~Required Screening and Landscaped Open Space: The minimum area to be devoted to landscaped open space shall be equal to twenty percent (20%) of the gross area of the site. (Ord. 78-40, 5-16-1978)~~

~~All office/research developments shall provide screening and landscaping in accordance with provisions in Chapter 10-11A of this Title. (Ord. 91-26, 4-16-1991)~~

6. ~~Office/Research Use Requirements:~~

- a. ~~Enclosure of Operations: All business, servicing and storage shall be conducted within completely enclosed buildings.~~
- b. ~~Underground Utility Facilities: All utility lines, including electric power and telephone lines, shall be located underground.~~
- c. ~~Lighting: All exterior lighting, including lighting of buildings, interior street lighting and landscape lighting, shall be directed away from adjacent highways, streets and properties.~~
- d. ~~Performance Standards: All uses shall comply with the performance standards for noise, odor, dust, smoke and vibration established in the I-1 Limited Industrial District.~~
- e. ~~Traffic/Access Systems: The number and location of access points to be provided for any O-R development shall be~~

determined by a traffic study prepared by a qualified traffic engineer and subject to review and approval by the Village Board.

- N. ~~Site Plan Review: A site plan approved according to the regulations in Chapter 13 of this Title shall be required prior to the approval of a building permit for any property in the O-R District, or prior to the rezoning of property to an O-R District. (Ord. 78-40, 5-16-1978)~~

COMMUNITY DEVELOPMENT MEMORANDUM
17-166

DATE: August 25, 2017

TO: The Chairman and Members of the Zoning Board of Appeals

FROM: Angela Zubko, Village Planner

RE: (#17-10) Administrative Site Plan Review Text Amendment-
Chapter 13 Administration and Enforcement (Partial),
Chapter 9 Planned Unit Developments (Partial), and
Chapter 2 Rules and Definitions (Partial)

Current Procedure

The Village Board has asked the Staff to suggest amendments to the Municipal Code to streamline the development process and improve the overall service delivery. This Text Amendment to the Zoning Ordinance would allow Site Plans, Site Plan Amendments and Minor Amendments to approved Final PUD Plans to be reviewed and approved administratively as part of the Building Permit Application. The Administrative Review would still include the typical departmental reviews from Building, Community Development, Engineering/Public Works, Police, Fire and IDOT/County Highway Departments (if needed) but could save approximately three (3) months of review time from the current process which requires:

1. The initial Site Plan Application,
2. Staff Routing/Distribution,
3. Staff Review,
4. Staff Review Letter,
5. Applicant's Response to the Staff's review letter,
6. Village Board Committee review,
7. Plan Commission review and recommendation,
8. Second Village Board Committee review, and
9. Village Board approval and Ordinance adoption.

Proposed Procedure

When a proposed development application is a permitted use within in a particular zoning district, meets the bulk requirements and does not require a Rezoning, Special Use(s) and/or Variation(s), the property owner/applicant would submit a Building Permit Application rather than submitting an application with Community Development and following the steps outlines above. The Building

Permit Application would include the required Site Plan, Site Plan Amendment, or Minor Amendment to an approved Final PUD Plan, landscaping, building elevations, floor plans, color renderings and photometric plans as well as any engineering plans in tandem with the submittal of the Building Permit Application. The Site Plan Checklist requirements currently outlined on the Community Development Site Plan Application would not change. Staff would encourage property owners/applicants to meet with the Technical Staff prior to submission to go over the Site Plan Checklist, so that all parties would have prior knowledge of the items required for a completed application and to expedite the review process.

If the site requires Rezoning, any Special Use Permit(s) and/or a Variation(s), the Petitioner would need to go through the current development review process.

Numerous municipalities, including Hanover Park, Streamwood, Carol Stream, Naperville, Addison, Carpentersville and Schaumburg, administratively review Site Plans in conjunction with a building permit application submittal.

The following is a list of petitions from the last 3 years that could have benefited from this Text Amendment:

- 2017-15: Acton Mobile Bluff City Industrial Park (Amendment to an Approved Final PUD Plan)
- 2017-09: Brewster Creek Business Park- Lot 9B2 Ridge BC2 (Site Plan)
- 2017-04: Brewster Creek Business Park- Lot 9M Muirfield West (Site Plan)
- 2016-15: Bartlett Little League Storage Shed (Amendment to an Approved Final PUD Plan)
- 2016-04: Blue Heron Business Park- Elgin Beverage (Site Plan)
- 2016-03: Brewster Creek Business Park- Lot 9B1 Greco Warehouse (Site Plan)
- 2015-23: Hanover Township parking lot (Site Plan Amendment)
- 2015-22: Brewster Creek Business Park- Lot 7D Rana (4th Site Plan Amendment)
- 2015-19: Brewster Creek Business Park- Lot 9L Ridge BC (Site Plan)
- 2015-18: Spring Lakes Mobile Home Park Playground (Site Plan)
- 2015-17: Mr. Car Wash vacuums (Site Plan Amendment)
- 2015-13: BAPS Phase 4 (PUD Plan Amendment)
- 2015-12: Brewster Creek Business Park- Lot 4F (Site Plan)

Total: 13 Petitions

Chapter 13 (Administration and Enforcement) is only being modified at this time for Site Plan Reviews and to allow Administrative Site Plan Reviews. *The entire Chapter will be reviewed and modified at a future date.*

Chapter 9 (Planned Unit Developments) is only being modified at this time to allow Minor Amendments to PUD Plans. *The entire Chapter will be reviewed and modified at a future date.*

Chapter 2 (Rules & Definitions) is only being modified at this time to include Kane County in the definition of Planned Unit Development Plat.

PLANNED UNIT DEVELOPMENT PLAT: A drawing or map made to measurable scale upon which is presented a description and definition of the way in which the design requirements of the planned unit development are to be met and intended for recording with the recorder of deeds of DuPage, Kane or Cook County or the registrar of titles of Cook County.

RECOMMENDATION

1. The proposed Text Amendment is attached for your review. If the Zoning Ordinance Text Amendment is approved, the Building Code regarding Building Permit Application requirements would also need to be updated.
2. Staff recommends **approval** of the proposed Text Amendments to Chapters 13, 9 and 2 of the Zoning Ordinance.

Chapter 13 ADMINISTRATION AND ENFORCEMENT

10-13-1: ZONING ADMINISTRATOR, DUTIES:

10-13-2: OCCUPANCY CERTIFICATES:

10-13-3: ZONING BOARD OF APPEALS:

10-13-4: APPEALS:

10-13-5: VARIATIONS:

10-13-6: PLAN COMMISSION:

10-13-7: AMENDMENTS:

10-13-8: SPECIAL USES:

10-13-9: SITE PLAN REVIEW:

10-13-9A: ADMINISTRATIVE SITE PLAN REVIEW:

10-13-10: NOTICES OF PUBLIC HEARING:

10-13-11: FEES:

10-13-9: SITE PLAN REVIEW:

~~Prior to obtaining a building permit a An approved Site Plan Review shall be required prior to as part of a the approval of a building permit Development Application for a Rezoning, Special Use(s) and/or Variation(s) on any property located within an SR-5, SR-6, MH-1, P-1, Commercial, Office/Research or Industrial Zoning District, or prior to the granting of a rezoning of property to an SR-5, SR-6, MH-1, commercial, office or industrial category or the granting of a special use permit in any of these districts~~

~~Site Plan requirements for Planned Unit Developments within the SR-5, SR-6, MH-1, Commercial, Office or Industrial Districts are included in Chapter 9 of this title, Planned Unit Developments.~~

A. Purpose And Intent: The purpose and intent of requiring a Site Plan Review approval is to ensure that Site Plans associated with a Rezoning, Special Use(s) and/or Variation(s) that is/are otherwise in conformance with this title. The Site Plan should also include the compatible arrangement of buildings, off-street parking, lighting, landscaping, ingress and egress, and drainage stormwater control of the site, any or all of these, and shall be designed in a manner that will promote safety and convenience for the public and will preserve property values of surrounding properties.

B. Procedure: A written application for site plan review shall be submitted to the village clerk, who will schedule the item for review by the plan commission. Ten (10) copies of the site plan shall be submitted by the property owner or his certified agent to the zoning administrator at least ten (10) days prior to the plan commission meeting at which the site plan will be reviewed. The zoning administrator shall review the site plan for

~~conformance with the zoning ordinance of the village, and shall make a report to the plan commission. After reviewing the report of the zoning administrator, the plan commission shall recommend approval or denial of the site plan, with or without conditions, or may defer the item for further study. Once a recommendation is made, the site plan shall be forwarded to the village board for consideration. Consultation with the appropriate village staff and consultants is encouraged throughout this process to ensure a minimum of delay.~~

The applicant shall file the required items as outlined in the Development Application Packet provided by the Village, as well as all supporting documents and fees. Once the Zoning Administrator has determined that the Development Application Packet is complete, the review process outlined in the Packet shall be followed.

Contents Of A Site Plan: ~~A Site Plan shall follow and include the following information:~~

- ~~1. A base map, drawn to scale, showing all lot boundaries and dimensions and a written description of the property; (Ord. 78-40, 5-16-1978)~~
- ~~2. Present and proposed topography of the site, including significant tree groupings and other important natural features, such as streams, bogs, etc., proposed flow of storm drainage and the locations and plantings schedule, for all landscaping, including grass, trees and shrubs as required in subsection 10-11A-3B of this title; (Ord. 78-40, 5-16-1978; amd. Ord. 91-26, 4-16-1991)~~
- ~~3. Locations and dimensions of all existing and proposed structures, building heights, number of stories, gross floor areas, and entrances;~~
- ~~4. Locations and dimensions of all existing and proposed streets, curb cuts, aisles and walkways and the number and location of all parking and loading areas. If the exact use of the site is not known at the time of a Site Plan submittal, parking and loading requirements shall be calculated for the general use having the greatest parking and loading requirements;~~
- ~~5. Location, height and material for all screening walls and fences, location and direction of proposed lighting facilities and the location and dimensions of each outdoor trash storage area; and~~
- ~~6. Timetable for construction of proposed improvements. (Ord. 78-40, 5-16-1978)~~
- ~~7. The Plan Commission, Zoning Board of Appeals and/or the corporate authorities may request other information necessary to reasonably clarify the proposed Site Plan and its impact on surrounding properties. Such information may include, but is not limited to, a noise study from a qualified sound engineer indicating the level of sounds that will be emitted from the property will comply with section 4-3-4 of the Bartlett Municipal Code. (Ord. 2001-129, 10-2-2001)~~

C. Findings and Conditions of Approval: ~~The Plan Commission~~ ~~Prior to shall~~ ~~review and make recommendations~~ ~~recommending approval of on~~ a Site Plan, ~~the plan commission shall first find that~~ ~~subject to~~ the following findings of fact and any other conditions ~~have been met~~ included in their recommendation:

1. That the proposed use is a permitted or special use in the district in which the property is located;
2. That the proposed arrangement of buildings, off-street parking, access lighting, landscaping and drainage stormwater control is compatible with adjacent land uses;
3. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site, but on adjacent roadways as well;
4. That the Site Plan provides for the safe movement of pedestrians with the site;
5. That there is a sufficient mixture of grass trees and shrubs within the interior and perimeter (including the public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses and will provide a pleasing appearance to the public. Any part of the ~~Site Plan area~~ not used for buildings, structures, parking or access ways shall be landscaped with a mixture of grass, trees and shrubs; ~~{Ord. 78-40, 5-16-1978}~~
All landscape improvements shall be in compliance with Chapter 11, Article A of this title, Landscape Requirements.
6. That all trash enclosures and outdoor storage areas are screened and are in accordance with standards specified by this Ordinance. ~~{Ord. 78-40, 5-16-1978}~~

D. Assurance of Performance: As a condition of approval, ~~the Plan Commission~~ ~~the Village Engineer and/or Building Director~~ may recommend that the applicant be required to file with the Village Treasurer a Letter of Credit or a Performance Guarantee approved by the Village Attorney to ensure completion of approved landscaping, fencing, utilities, parking and loading, storm water control, drainage and all other specific items specified by the Village Engineer of the Site Plan. The amount of the Performance Guarantee and the required completion date shall be recommended by the Village Engineer ~~Zoning administrator~~ based on current the Village Engineer's estimate of costs and set by the Village Board.

If upon inspection of the completed project by the Village Engineer ~~Zoning Administrator~~, it is found that the conditions of the Site Plan have been met, the Village Engineer shall write a letter to the applicant and the Performance Bond Guarantee shall be released to the applicant.

If the applicant does not complete the development of the items specified on the Site Plan within the time specified in its ~~bond or other security~~ **Guarantee**, the **Village Engineer** ~~Zoning Administrator~~ shall give written notice of the **incomplete items** to the applicant and the surety or other ~~g~~**Guarantor**. If the site is ~~not development~~ in conformance with the conditions of the Site Plan ~~the Village will not accept the public improvement(s) and will not release the Performance Guarantee.~~ **have not been completed thirty (30) days prior to the expiration of the performance guarantee, the Village will take such action as is necessary to ensure completion in conformity with the Site Plan conditions. However if the applicant can show that he has tried to the utmost of his ability to complete development in conformity with the conditions of the Site Plan within the time period specified, but that adversities not of his making have prevented such completion, the Village Board may permit him to extend the performance guarantee for an additional specified period of time.**

- E. Building Permits:** ~~A Building p~~**Permits** for earthmoving, construction, alteration, or any other purpose shall not be issued for a Site until a Site Plan is approved by the Village Board. ~~and such approved Site Plan is delivered to the Zoning Administrator.~~ Any earthmoving, construction or alteration determined not to be in substantial compliance with the approved Site Plan, in the opinion of the ~~Zoning Administrator~~ **Building Director** shall be a violation of this Title. ~~{Ord. 83-20, 4-26-1983; amd. Ord. 91-48, 7-2-1991}~~
- F. Amendments To An Approved Site Plan:** ~~The required Site Plan and timetable may be amended by the Village Board after review and recommendation by the Plan Commission.~~ **Amendments to an approved Site Plan may be submitted to the Building Department as part of a Building Permit Application and reviewed in accordance with Section 10-13-9A (Administrative Site Plan Review). If a Rezoning, Special Use(s) and/or Variation(s) is/are requested as part of the amendment request, the Site Plan will be reviewed in accordance with Section 10-13-9 (Site Plan Review).**

10-13-9A: ADMINISTRATIVE SITE PLAN REVIEW: An Administrative Site Plan Review may be submitted to the Building Department as part of a Building Permit Application if no Rezoning, Special Use(s) and/or Variation(s) is/are requested.

- A. Purpose and Intent:** The purpose and intent of requiring an Administrative Site Plan Review is to ensure that Site Plans are otherwise in conformance with this title, include the compatible arrangement of buildings, off-street parking, lighting, landscaping, ingress and egress and stormwater control of the site, and shall be designed in a manner that will promote safety and convenience for the public and will preserve property values of surrounding properties.

B. Procedure: The applicant shall file a Site Plan as part of the required Building Permit Application with all supporting documents and fees. Once the Building Director has determined that the Building Permit Application is complete, the review process outlined in Title 9-2-12 in the Building Code shall be followed.

C. Assurance of Performance: As a condition of approval, the Village Engineer and/or Building Director may recommend that the applicant be required to file with the Village a Performance Guarantee approved by the Village Attorney to ensure completion of approved landscaping, fencing, utilities, parking and loading, storm water control and other items specified by the Village Engineer. The amount of the Performance Guarantee and the required completion date shall be recommended by the Village Engineer based on the Village Engineer's estimate of costs.

If upon inspection of the completed project by the Village Engineer it is found that the conditions of the Site Plan have been met, the Village Engineer shall write a letter to the applicant and the Performance Guarantee shall be released.

If the applicant does not complete the development of the items specified on the Site Plan within the time specified in its Guarantee, the Village Engineer shall give written notice of the incomplete items to the applicant and the surety or other Guarantor. If the site is not in conformance with the conditions of the Site Plan the Village will not accept the public improvement(s) and will not release the Performance Guarantee.

D. Building Permits: A Building Permit for earthmoving, construction, alteration, or any other purpose shall not be issued for a Site until a Site Plan is approved by the Zoning Administrator and Village Engineer and a Performance Guarantee approved by the Village Attorney posted. Any earthmoving, construction or alteration determined not to be in substantial compliance with the approved Site Plan, in the opinion of the Building Director, shall be a violation of this Title.

E. Amendments To An Approved Administrative Site Plan: Amendments to an Approved Administrative Site Plan may be submitted as part of a Building Permit Application and reviewed in accordance with this section (Administrative Site Plan Review). If a Rezoning, Special Use(s) and/or Variation(s) is/are requested, then the plans will be reviewed in accordance with Section 10-13-9 (Site Plan Review).

Chapter 9
PLANNED UNIT DEVELOPMENTS

10-9-10: FINAL DEVELOPMENT PUD PLAN:

10-9-10A: MINOR AMENDMENTS TO APPROVED FINAL PUD PLANS:

10-9-10A: MINOR AMENDMENTS TO APPROVED FINAL PUD PLANS: A Minor Amendment (as determined by the Zoning Administrator) to an Approved Final PUD Plan may be submitted to the Building Department as part of a Building Permit Application if no Rezoning, Special Use(s) and/or Variation(s) is/are requested.

Chapter 2
RULES AND DEFINITIONS:

10-2-2: DEFINITIONS:

PLANNED UNIT DEVELOPMENT PLAT: A drawing or map made to measurable scale upon which is presented a description and definition of the way in which the design requirements of the planned unit development are to be met and intended for recording with the recorder of deeds of DuPage, Kane or Cook County or the registrar of titles of Cook County.