



**VILLAGE OF BARTLETT
PLANNING & ZONING COMMISSION MEETING
AGENDA**

**BARTLETT MUNICIPAL CENTER
228 S. MAIN STREET
April 6, 2023
7:00 P.M.**

- I. Call to Order
- II. Roll Call
- III. Approval of the December 8, 2022 Planning & Zoning Commission meeting minutes
- IV. Public Forum
- V. **(#23-03) Aldi – NW corner of E. Devon and S. Berneau Ave (Streets of Bartlett)
Modification to the PUD Special Use Permit
Fourth Site/PUD Plan Amendment
Final Site/PUD Plan
Major design exceptions:**
 - (a) Minimum Required Transparency Per Ground Story on Primary Frontages
 - (b) Minimum Building Entrances on Primary Frontages
 - (c) Tower Width
 - (d) Simplicity of Surface Materials
 - (e) Minor Façade Materials
 - (f) Changes in Surface Materials**PUBLIC HEARING**
- VI. New Business/Old Business
- VII. Adjournment



Village of Bartlett
Planning and Zoning Commission
December 8, 2022

M. Werden, Chairman called the meeting to order at 7:00 pm.

Roll Call

Present: B. Bucaro, C. Deveaux, J. Kapadoukakis, G. Koziol, J. Miaso, M. Sarwas, M. Werden
Absent: M. Hopkins

Also Present: Kristy Stone, Planning & Development Services Director and Daniel Harper, Village Planner

Approval of Minutes

A motion was made to approve the November 3, 2022 meeting minutes.

Motioned by: B. Bucaro

Seconded by: J. Miaso

Roll Call

Ayes: B. Bucaro, C. Deveaux, J. Kapadoukakis, G. Koziol, J. Miaso, M. Werden

Nays: None

Abstain: M. Sarwas

The motion carried.

Public Forum

M. Werden opened the public forum. No one from the public came forward. **M. Werden** closed the public forum.



Village of Bartlett
Planning and Zoning Commission
December 8, 2022

(#22-12) Southwind Business Park Lot 3

The petitioner, **Dean Kelley**, 621 5th Street, St. Charles came forward and was sworn in by **M. Werden**. **D. Kelley** stated that they are requesting a resubdivision of lot 3, the property at W. Bartlett Road and Route 25 for the proposed self-storage facility project. **K. Stone** these lots per the annexation agreement allow light industrial and commercial uses. **G. Koziol** this is an area that seems logical for this use and since there are no neighbors to complain that is a good thing. **B. Bucaro** are you focusing on any retail for lot 2 or any other type of business? **D. Kelley** had a daycare user that was interested in part of that lot and an interested party for mixed use. I think it is going to be difficult to get retail because it is an interior lot and there is no exposure to W. Bartlett Road or Route 25. It could end up being light industrial. I do not think the market would support retail there at this time. There is residential development on the other side in South Elgin which will certainly help these businesses.

B. Bucaro made a motion to pass along **a positive recommendation** to the Village Board to approve case **(#22-12) Southwind Business Park Lot 3** for a Preliminary/Final Plat of Subdivision subject to the conditions outlined in the staff report.

Motioned by: B. Bucaro

Seconded by: G. Koziol

Roll Call

Ayes: B. Bucaro, C. Deveaux, J. Kapadoukakis, G. Koziol, J. Miaso, M. Sarwas, M. Werden

Nays: None

The motion carried.



Village of Bartlett
Planning and Zoning Commission
December 8, 2022

(#22-11) Southwind Self Storage

The following exhibits were presented:

Exhibit A – Picture of Sign

Exhibit B – Mail Affidavit

Exhibit C – Notification of Publication

The petitioners, **Dean Kelley**, 612 5th Street, St. Charles and **Jeffrey Budgell**, Architects' Studio, 257 N West Avenue, Elmhurst came forward and were sworn in by **M. Werden**. **J. Budgell** stated that the site plan for the project shows that customers would enter off of Benchmark into the site. There is a ring road that goes around the site that provides fire access as well as access to exterior units that are at grade level around the building. There is loading and unloading in-doors for the building. This is a 2-story building. We are asking for site plan approval and approval for variations to increase the floor area ratio to 0.84 and to reduce the required perimeter landscaping to allow the exterior access doors to be at grade. This would be a climate-controlled self-storage building which is a very benign use. A busy day might have 8 to 10 customer trips to this facility. There would be very low traffic and this would be well maintained. Regular business hours would be 7 or 8 in the morning to 6 or 7 in the evening. Interior access is not allowed after hours except in an emergency. There would be one employee on site while the facility is open. This use is perfect for this site with the residential across the street. The majority of the landscaping will be around the perimeter of the site. This site would be highly landscaped with a lot of evergreen landscaping that keeps its foliage in the winter. **M. Werden** I was impressed that you included so many evergreens in your landscape plan. **J. Budgell** we did group evergreens along Route 25 to buffer the residential area. **M. Werden** I think this is ideal since you will not have a lot of noise or traffic that would irritate nearby neighbors. **J. Budgell** that is correct. I would also like to add that there are many light industrial and commercial uses that could build a one-story building here, but they would have more employees and trucks coming and going. In our case, we have a second-story, which requires the increase in the floor-area-ratio, but this will be a benign use. You will rarely see people at this site. This is the perfect use for this type of site in our opinion. **M. Werden** will IDOT be widening that intersection or roadway? **K. Stone** IDOT does not have plans to widen the roadway, but they are looking at possibly resurfacing in the future. **C. Deveaux** the corner of Benchmark and Route 25 going north is in terrible condition. The corner will need some attention. **B. Bucaro** the circular interior drive is one-way looking at the dimensions of the lot having 2-way traffic would be too tight. **J. Budgell** that is one of the reasons we did a one-way, but again the traffic load here will be very low and we cannot imagine a situation where you would have more than 2 or 3 cars there, but we do accommodate that with the one-way. **K. Stone** we also required the petitioner to add islands at the corners of the building to provide a protected area for the vehicles that are loading and unloading so that they are not obstructing the access ring road. **G. Koziol** this appears to be a well-thought out plan. I like the looks of the building and the landscaping is attractive. This is going to be a very quiet neighbor in the area. It is a good use.

M. Werden opened the public hearing portion of the meeting.



Village of Bartlett
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Kerry Flood, 1066 Moraine, South Elgin came forward and stated, I live across the street from this development. I was very surprised at how much traffic is on Route 25 specifically in this area. I am concerned that this will bring more traffic. I am hoping that this building can be hidden by trees and the lighting will not be outward facing. **J. Budgell** we have submitted a photometric plan that meets the Village's requirements for lighting and all of the lighting will be directed down and the landscaping will be evergreens which stays green all year round to block the building. You can see that in the rendering. **K. Stone** the landscaping along the west property line exceeds what our zoning ordinance requires. The petitioner was very accommodating with the landscaping. **M. Werden** have you received any comments from the public about this project? **K. Stone** no, we have not.

M. Werden closed the public hearing portion of the meeting.

G. Koziol made a motion to pass along **a positive recommendation** to the Village Board to approve case **(#22-12) Southwind Self Storage** Site Plan Review and Variations to increase the floor area ratio and to reduce the perimeter landscaping requirement subject to the and findings of fact outlined in the staff report.

Motioned by: G. Koziol
Seconded by: B. Bucaro

Roll Call

Ayes: B. Bucaro, C. Deveaux, J. Kapadoukakis, G. Koziol, J. Miaso, M. Sarwas, M. Werden
Nays: None

The motion carried.



Village of Bartlett
Planning and Zoning Commission
December 8, 2022

(#22-15) Political Signs

**The following exhibits were presented:
Exhibit A – Notification of Publication**

Kurt Asprooth, Ancel Glink, 140 S Dearborn St, Suite 600, Chicago, Il came forward and was sworn in by **M. Werden**. **K. Asprooth** stated that there is a provision in the State code that preempts all municipalities home rule and non-home rule from regulating political signage on residential property. The Village cannot prevent anyone from putting up a political sign in their front yard in any way. The only power that any municipality in the State of Illinois has is to enforce reasonable size restrictions. We looked at the current Village Zoning Ordinance and there are some carve outs for political signs, but there are still some impermissible restrictions on political signs including a limitation on the number of signs and a limitation on the time period for how long those signs can be up. We did look at the legislative history when this law was passed in 2011 to clarify exactly what the legislature was intending with this law. They made it very clear that any number of signs is permissible and that we cannot prevent anyone from having 25 political signs in the front yard. Although not directly expressed, we think the goal was that there might be 20 races on the ballot or 10 referendum questions on the ballot and the State Legislature wanted a residential property owner to be able to have a sign for each race if they chose to do so. The legislature also limits the ability for the Village to say how long those signs can be up. A lot of people will leave political signs up for a long time after an election and signs become outdated. We know that is a concern. The Village cannot say when a political sign has to be taken down after a certain period of time after an election. In the past, that was a pretty common provision in most zoning codes across the State. We cannot enforce a time restriction any longer. We did look at the code and wrote a draft Text Amendment to enforce the one restriction that we can regulate and that is the size of political signs for residential property. This does not apply to commercial or industrial properties. This draft size restriction will be a limit of 16 square feet for an individual sign. We have also included a height limitation of 6 feet to ensure that someone does not put a billboard in their yard. We also make it very clear that these signs must be on private property and not placed in the right-of-way. This is a situation where our hands are tied in many ways. We do not have a lot of discretion. We want to make sure that the zoning ordinance is clear not only for staff and for enforcement purposes, but also for residents to know what they can and cannot do when election season comes along. The intent of the legislature is to ensure that a resident can have as many political signs as they want. **G. Koziol** on residential property, after an election, we cannot enforce the removal of political signs and they could stay there forever? **K. Stone** correct. **G. Koziol** do we have the right to enforce the removal of signs on non-residential property? **K. Stone** yes, this only pertains to residential properties. **B. Bucaro** is the size of 16 square feet a normal size and is that the size that other villages allow as the one item that can be regulated? **K. Asprooth** we did a broad survey of what other communities allow for political signs. Some communities limit the size to 6 square feet, which is the standard yard sign size. Some communities allow very large signs. Hoffman Estates allows up to 32 square feet for a single political sign. At 16 square feet we are in the middle of what size other communities allow.



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M. Werden opened the public hearing portion of the meeting. No one from the public came forward.

M. Werden closed the public hearing portion of the meeting.

J. Miaso made a motion to pass along **a positive recommendation** to the Village Board to approve case **(#22-15) Political Signs** text amendment.

Motioned by: J. Miaso

Seconded by: M. Sarwas

Roll Call

Ayes: B. Bucaro, C. Deveaux, J. Kapadoukakis, G. Koziol, J. Miaso, M. Sarwas, M. Werden

Nays: None

The motion carried.



**Village of Bartlett
Planning and Zoning Commission
December 8, 2022**

Old Business/ New Business

K. Stone I do not believe that we will have a January meeting.

M. Werden asked if there was a motion to adjourn.

Motioned by: G. Koziol

Seconded by: M. Sarwas

Motion passed by unanimous voice vote.

The meeting was adjourned at 7:40 pm.

PLANNING & DEVELOPMENT SERVICES MEMORANDUM

23-14

DATE: March 29, 2023
TO: The Chairman and Members of the Planning & Zoning Commission
FROM: Kristy Stone, PDS Director 
RE: **(#23-03) Aldi**

PETITIONER

Chris Stair on behalf of Aldi Inc.,

SUBJECT SITE

Northwest corner of E. Devon Avenue and S. Berteau Avenue (Streets of Bartlett)

REQUESTS

**Modification to the Planned Unit Development Special Use Permit
Fourth Site Plan/PUD Amendment
Final Site/PUD for Aldi
Major Design Exceptions**

- a) Building regulations:
 - i. Reduce the minimum required transparency on the primary frontage from 65% to 13.8%
 - ii. Eliminate the requirement for two building entrances on the primary frontage (E. Devon Avenue)
 - iii. Increase the maximum tower width from 30 feet to 77 feet (east elevation)
- b) Building façade design:
 - i. To allow a façade comprised of less than 60% of a single material
 - ii. To allow aluminum composite panels as a minor façade material
 - iii. To allow a change of materials when the façade's change of depth is less than 8-inches

SURROUNDING LAND USES

Subject Site	<u>Land Use</u> Commercial	<u>Comprehensive Plan</u> Commercial	<u>Zoning</u> B-3 PUD
North	Multi- Family	Attached Residential	SR-6
South	Single Family	Suburban Residential	SR-2
East	Industrial	Industrial	I-1
West	Commercial	Commercial	B-3

ZONING HISTORY

Through the Staff’s research and as shown on the Village’s Annexation Map, this parcel has been part of Bartlett since its incorporation in 1891 and was shown on the Village’s first Zoning Map (1941) as part of the Farming District. These parcels are part of the H.O. Stone and Company’s Town Addition to Bartlett which was platted and recorded in 1929. According to the 1962 Zoning Map, the property was zoned R-1 Single Family Residence, in 1971 zoned A-2 Multi-Family and in 1977 zoned SR-3 Suburban Residence. During the comprehensive rezoning of the Village in 1978, the property was rezoned to the B-3 (Neighborhood Shopping) Zoning District.

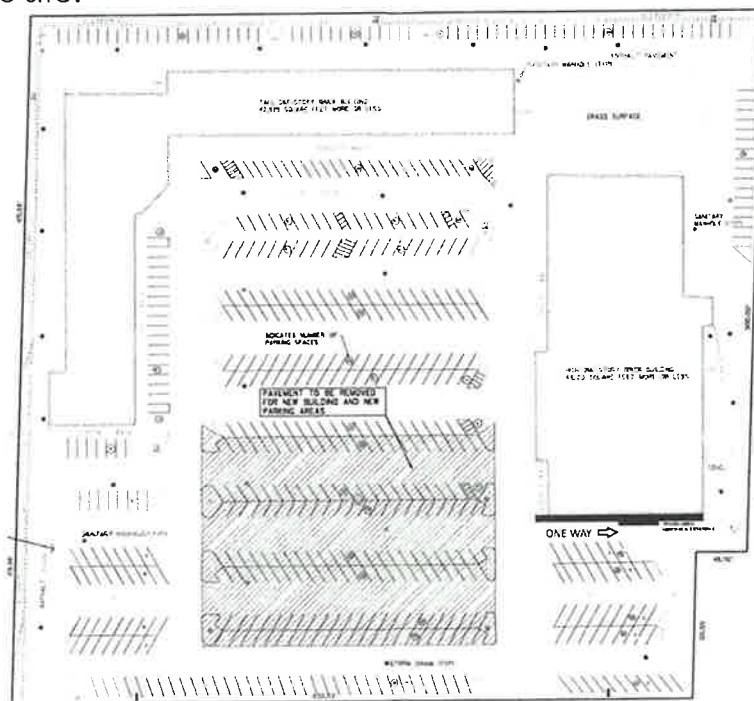
In 1978, the grocery store was constructed and in 1981 the original building was expanded northward and a second building was constructed to the north.

In 1988, Ordinance #1988-32 granted a Special Use Permit for a Planned Unit Development of the Bartlett Plaza Shopping Center Property (Phase 3 Addition).

In 2006, Ordinance #2006-22 approved a First Site Plan/PUD Amendment to allow an outdoor play area for the Kripa Montessori School.

In 2009, Ordinance #2009-63 approved the Second Site Plan/PUD Amendment to expand onto the outdoor play area for the Kripa Montessori School.

In 2019, Ordinance #2019-28 approved an amendment to the PUD for a Third Site/PUD Plan Amendment, granted special use permits (including package liquor sales) and granted variances for the entire Streets of Bartlett development. The Third Site/PUD Plan Amendment anticipated the future construction of a building towards the center of the site.



CURRENT DISCUSSION

1. The petitioner is requesting a **modification to the Planned Unit Development Special Use Permit** and a **Fourth Site /PUD Plan Amendment** for the Streets of Bartlett (formerly Bartlett Plaza) to move the location of the proposed commercial building pad from the center of the existing parking lot further southwest due to the location of underground utilities. The petitioner has entered into a ground lease with the property owner.
2. The petitioner is also requesting a **Final Site/PUD Plan** for an approximately 20,000 sq.ft. Aldi grocery store. Aldi would be allowed to sell package liquor under the existing Special Use Permit that was granted to for the Streets of Bartlett by Ordinance #2019-28. The Site/PUD Plan also indicates a future 2,500 sq.ft. addition on the west side of the building.
3. The Downtown Overlay District reduces the parking requirements when parking is shared by different uses. Each use's parking requirements are calculated separately and then adjusted based on the time of day. The time period with the highest number of total spaces required becomes the requirement for the development.

SHARED PARKING FACTORS

Use	Time of Day					
	WEEKDAY			WEEKEND		
	12AM-7AM	7AM-6PM	6PM-12AM	12AM-7AM	7AM-6PM	6PM-12AM
Office	5%	100%	10%	0%	10%	5%
Restaurant	50%	70%	100%	50%	60%	100%
Entertainment/Assembly	10%	30%	60%	10%	70%	100%
Retail/Service	5%	70%	80%	0%	100%	60%

REQUIRED PARKING CALCULATIONS

Use	Spaces required by use	Spaces Required per DTO for Multiple Uses					
		WEEKDAY			WEEKEND		
		12AM-7AM	7AM-6PM	6PM-12AM	12AM-7AM	7AM-6PM	6PM-12AM
Office	45	2	45	5	0	5	2
Restaurant	184	92	129	184	92	110	184
Entertainment/Assembly	107	11	32	64	11	75	107
Retail/Service	161	8	113	129	0	161	97
TOTAL	497	113	319	382	103	351	390

Based on the Downtown Overlay's multiple use reduction, the total number of required spaces for the Streets of Bartlett, including the proposed Aldi grocery store, is 390 parking spaces. **The Fourth Site Plan/PUD Amendment provides 444 parking spaces for the shopping center, exceeding the parking requirement by 54 spaces.** (*Ordinance #2019-28 approved a variation to reduce the amount of required parking to 406 parking spaces.*)

4. Aldi is also providing bicycle racks to accommodate the required 4 bicycle parking spaces near the entrance on the south side of the building.
5. The building elevations would be primarily comprised of Spec-Brik concrete masonry. The south (facing E. Devon Ave.) and east (facing S. Berteau Ave.) elevations also incorporate Nichiha fiber cement panels with a wood look and the entrance tower includes bright silver aluminum composite panels. A silver metal canopy is provided at the building entrance and over the shopping cart corral. All roof-top mechanicals will be screened. **Based on feedback from the Committee of the Whole, the petitioner has submitted a revised north elevation (facing Pasta Mia) which now includes Nichiha fiber cement panels.**
6. Six **Major Design Exceptions** are being requested for the proposed building elevations:
 - a) To reduce the minimum ground story transparency on primary frontage from 65% to 13.8%
 - b) To eliminate the required two entrances on the primary frontage
 - c) To increase the maximum tower width from 30 feet to 77 feet (east elevation)
 - d) To allow a facade comprised of less than 60% of a single major facade material (south – 35.9% masonry, 34.7% Nichiha, 29.4% other and east – 37.7% masonry, 13.3% Nichiha, 49.0% other)
 - e) To allow aluminum composite panels as a minor facade material
 - f) To allow a change of materials when the facade's change of depth is less than 8 inches
7. The site will be accessed through the Streets of Bartlett parking lot, no new curbcuts onto E. Devon Avenue are proposed. The internal circulation of the existing parking lot would be modified at the northeast corner of the Aldi site in order to accommodate trucks utilizing the loading dock.
8. The loading dock is accessed on the east side of the Aldi building and is recessed to minimize its appearance. Aldi anticipates one delivery truck per day. The dumpster will be located in the recessed loading area behind a solid gate. Landscaping and berming will be provided along the north elevation to further screen the loading area.

9. The petitioner has agreed to use parking lot lights that are similar to the downtown light fixtures to tie this development to the existing center and downtown streetscape.
10. All plans are currently being reviewed by the Staff.

RECOMMENDATION

1. The Staff recommends **approval** of the petitioner's requests amending the planned unit development special use permit, the fourth site/PUD plan amendment (Streets of Bartlett), the final site/PUD plan (Aldi) and the major design exceptions, subject to the following conditions and findings of fact:
 - A. Village Engineer approval of the engineering plans;
 - B. Building permits shall be required for all construction activities;
 - C. Planning and Development Services approval of the photometric plan;
 - D. The photometric plan shall utilize light fixtures that are similar to existing light fixtures located within the Streets of Bartlett parking lot;
 - E. Landscaping shall be added to the top of the berm located on the north side of the building;
 - F. Landscaping must be installed within one year of the issuance of a building permit;
 - G. If landscaping cannot be installed at the time of construction, a landscape estimate shall be submitted to the Planning & Development Services department for review and approval by the village forester and a bond posted in the approved amount for its future installation;
 - H. Bike racks shall be installed per the approved final Site/PUD plan;
 - I. All proposed signage shall require permits and approval from the Planning & Development Services Department prior to installation;
 - J. The Petitioner shall obtain all required liquor licenses;
 - K. The dumpster shall be located behind a solid gate;
 - L. Any required Public Improvement Completion Agreement and associated bonds shall be submitted for review and approval by the Village Attorney.
 - M. Findings of Fact (Planned Unit Development-Streets of Bartlett):
 - i. The Village's Future Land Use Plan designates this area as Commercial that has been established in the area and which conforms with general planning policies and precedents of the Village;
 - ii. The shopping center and grocery store are permitted uses in the underlying B-3 Zoning District and this B-3 PUD Zoning District;
 - iii. The development of the Lease Premises will be designed, located and proposed to be operated and maintained so that the public health, safety and welfare will not be endangered or detrimentally affected;
 - iv. The development of the Lease Premises shall not substantially lessen or impede the suitability for uses and development of, or be injurious to the use and enjoyment of, or substantially diminish or impair the value of, or be incompatible with, other property in the immediate vicinity;

- v. The development of the Lease Premises shall not include impact donations;
 - vi. Adequate utilities and drainage shall be provided for the development of the grocery store on the Lease Premises;
 - vii. Adequate parking and ingress and egress is provided for the Lease Premises and the Subject Property so as to minimize traffic congestion and hazards in the public streets;
 - viii. Adequate buffering and landscaping shall be provided to protect uses within the development and on surrounding properties;
 - ix. There will be reasonable assurances put in place by the Petitioner and Owner that the development of the grocery store on the Lease Premises and the improvements on the Subject Property will be completed according to a schedule approved by the Village and will be adequately maintained.
- N. Findings of Fact (Special Use – Planned Unit Development):
- i. That the shopping center and proposed grocery store will contribute to the general welfare of the neighbor and/or community;
 - ii. That the shopping center and proposed grocery store will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or be injurious to property value or improvement in the vicinity;
 - iii. That the special use shall conform to the regulations and conditions specified in the Title for such use and with the stipulation and conditions made a part of the authorization granted by the Village Board of Trustees;
- O. Findings of Fact (Final Site/PUD Plan-Aldi):
- i. That the proposed grocery store is permitted use in the underlying B-3 Zoning District and with the B-3 PUD for the Subject Property;
 - ii. That the proposed grocery store on the Lease Premises on the Subject Property and the proposed buildings, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses;
 - iii. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well;
 - iv. That the Final Site/PUD Plan provides for the safe movement of pedestrians within the site;
 - v. That there is a sufficient mixture of grass, trees and shrubs within the interior and perimeter (including public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses. Any part of the site plan area not used for buildings, structures, parking or access ways shall be landscaped with a mixture of grass, trees and shrubs; (All landscape improvements shall be in compliance with Chapter 10-1 IA, Landscape Requirements.)

- vi. That all outdoor storage areas are or are proposed to be screened and are in accordance with the standards specified by this Ordinance.

P. Findings of Fact (Major Design Exceptions)

- i. The exceptions fulfill the intent to implement the Village of Bartlett Downtown TOD Plan, including but not limited to maintaining the scale and character of the village and specifically the downtown;
- ii. The resulting development is consistent or compatible with the surrounding context or the vision defined in the Village's comprehensive plan, the downtown TOD master plan, and/or other planning documents approved by the village;
- iii. The requested exceptions result in a development of equal or higher quality and durability of design;
- iv. The resulting development would not impede adjacent development from complying with the overlay district regulations;
- v. The requested exceptions result from conditions that are unique to the subject development and would not establish a precedent that would prevent the board from reasonably denying a similar exception for similarly situated properties.

2. The plans and additional background information is attached for your review.

/attachments

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BATAVIA DIVISION

1200 N. KIRK ROAD
BATAVIA, IL. 60510

P: 630.879.8100

F: 630.879.8152

Date: 03/09/23

Village of Bartlett
228 S. Main Street
Bartlett, Illinois 60103

RE: ALDI Project - Streets of Bartlett Shopping Center

Dear Village President and Board of Trustees,

ALDI, Inc. is requesting a PUD amendment to build a new store in the southern portion of the existing parking lot of the Streets of Bartlett Shopping Center located at 134 Bartlett Plaza. The PUD amendment is required because the proposed building is in a different location than what was shown on the last PUD plan. This building is shifted further to the west due to existing utility locations. The project will include the construction of a new ALDI Food Store with associated surface parking, underground utilities, lighting, landscaping, and compensatory storage for displaced surface detention storage. A PUD amendment is being requested because of the change in use with the addition of a building in an existing parking field. Attached is a PUD Plan for the Streets of Bartlett showing the proposed development within the existing PUD. The proposed ALDI Food Store will provide a second grocery store to the Village of Bartlett in a convenient location in the Downtown District. Due to the proximity of this location to the ALDI Corporate Offices, the building will be the latest and greatest prototype.

Major design exceptions for this development are:

a) Building Regulations

- i. Minimum required transparent – primary frontage: 13.8% (65% required)
- ii. Minimum building entrances on primary frontage – none provided (2 required)
- iii. Tower width – 77 feet of east elevation (maximum allowed is 30 feet)

b) Building Façade Design

- i. Simplicity of surface materials on street facing elevations – (minimum 60% of façade shall be a single material)
 1. South (Side Facing East Devon Ave) – Includes all wall facing Bartlett, inc. Cart Corral Beyond
 - a. 34.7% Nichiha
 - b. 35.9% Masonry
 - c. 29.4% Other
 2. East (Side Facing S Berteau Ave) – Includes all walls facing Berteau, inc. Cart Corral
 - a. 13.3% Nichiha
 - b. 37.7% Masonry
 - c. 49.0% Others
- ii. Minor façade materials – Aluminum composite panels are utilized on the tower (ACP are listed as a prohibited material); however, the aluminum composite panels are durable and low maintenance.

- c) Changes in surface materials - The change depth difference between the Nichiha and Masonry is 3" in depth. This is less than the 8" requested. The Nichiha is inset within the wall with the masonry standing in the foreground. To increase this depth to 8" would drastically alter the footprint of our space by increasing exterior wall thickness, and/or reduce interior space. To have the Nichiha stand 8" in the foreground would change the current design intent and would fall contrary to Village of Bartlett Downtown Overlay item 10-9C-4. , whereas thinner material such as fiber cement wall panels should not be used to create shadow lines on surfaces. (Materials shall not change unless change in depth of 8" or more)

Sincerely,



Chris Stair
Director of Real Estate
ALDI Inc., Batavia Division



VILLAGE OF BARTLETT DEVELOPMENT APPLICATION

For Office Use Only
Case # 23-03
RECEIVED
FEB 16 2023
PLANNING & DEVELOPMENT
VILLAGE OF
BARTLETT

PROJECT NAME ALDI (Store #89) New Development

PETITIONER INFORMATION (PRIMARY CONTACT)

Name: Chris Stair

Street Address: 1200 N. Kirk Road

City, State: Batavia, Illinois

Zip Code: 60510-1477

Email Address: [REDACTED]

Phone Number: [REDACTED]

Preferred Method to be contacted: email

PROPERTY OWNER INFORMATION

Name: Manny Rafidia

Street Address: [REDACTED]

City, State: [REDACTED]

Zip Code: [REDACTED]

Phone Number: [REDACTED]

OWNER'S SIGNATURE: _____ **Date:** _____

(OWNER'S SIGNATURE IS REQUIRED or A LETTER AUTHORIZING THE PETITION SUBMITTAL.)

ACTION REQUESTED (Please check all that apply)

- Annexation
 - PUD (preliminary)
 - PUD (final)
 - Subdivision (preliminary)
 - Subdivision (final)
 - Site Plan (please describe use: commercial, industrial, square footage): _____
 - Unified Business Center Sign Plan
 - Other (please describe) major design exceptions
- Text Amendment
 - Rezoning _____ to _____
 - Special Use for: _____
 - Variation: _____

SIGN PLAN REQUIRED? Yes or No

(Note: A Unified Business Center Sign Plan is required for four or more individual offices or businesses sharing a common building entrance or private parking lot.)

PROPERTY INFORMATION

Common Address/General Location of Property: 134 Bartlett Plaza

Property Index Number ("Tax PIN"/"Parcel ID"): 06-35-317-042, 06-35-318-047

Zoning: Existing: B-3/PUD
(Refer to Official Zoning Map)

Land Use: Existing: Parking Lot

Proposed: B-3/PUD

Proposed: Grocery Store

Comprehensive Plan Designation for this Property: _____
(Refer to Future Land Use Map)

Acreage: 9.749

For PUD's and Subdivisions:

No. of Lots/Units: _____

Minimum Lot: Area _____ Width _____ Depth _____

Average Lot: Area _____ Width _____ Depth _____

APPLICANT'S EXPERTS (If applicable, including name, address, phone and email)

Attorney Kayne Law Group
612 Park Street, Suite 100, Columbus, Ohio 43215

Engineer RWG Engineering, LLC
975 E. 22nd St., Wheaton, IL 60189

Other APD Egnieering and Architecture
615 Fishers Run, Victor, New York 14564

FINDINGS OF FACT FOR PLANNED UNIT DEVELOPMENTS

Both the Planning & Zoning Commission and Village Board must decide if the requested Planned Unit Development meets the standards established by the Village of Bartlett Zoning Ordinance. The Planning & Zoning Commission shall make findings based upon evidence presented on the following standards:

(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Planning & Zoning Commission and Village Board to review.)

1. The proposed Planned Unit Development is desirable to provide a mix of uses which are in the interest of public convenience and will contribute to the general welfare of the community.

The proposed PUD will add a grocery store to the Village of Bartlett, which is needed as there is currently only one grocery store in the Village. This will contribute to the general welfare of the community and is in the interest of public convenience.

2. The Planned Unit Development will not under the circumstances of the particular case be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or be injurious to property value or improvement in the vicinity.

The PUD will not cause any harm or be detrimental to the health, safety, moreals, or general welfare of persons residing or working in the vicinity, it will provide a convenient location for the purchase of reasonably priced groceries. Adequate parking will be provided and this development will draw shoppers from other towns as well.

3. The Planned Unit Development shall conform to the regulations and conditions specified in the Title for such use and with the stipulation and conditions made a part of the authorization granted by the Village Board of Trustees.

The PUD will conform to the regulations and meet Village Code. The development will go through the appropriate entitlements process with the Village of Bartlett.

4. The proposed uses conform to the Comprehensive Plan and the general planning policies of the Village for this parcel.

The current zoning is B-3/PUD and it will remain as such, thus conforming with the Comprehensive Plan.

5. Each of the proposed uses is a permitted or special use in the district or districts in which the Planned Unit Development would be located.

The proposed use of a grocery store is permitted in the Downtown Overlay District, in which the PUD is located.

6. The Planned Unit Development is designed, located and proposed to be operated and maintained so that the public health, safety and welfare will not be endangered or detrimentally affected.

The PUD provides a safe flow of traffic on and off Devon Avenue, adequate and safe parking on-site, and buildings that are constructed per current regulations and all will be properly maintained.

7. It shall not substantially lessen or impede the suitability for permitted use and development of, or be injurious to the use and enjoyment of, or substantially diminish or impair the value of, or be incompatible with, other property in the immediate vicinity.

The property is in the Downtown area of Bartlett near other commercial sites, but also in close proximity to residential property. It will not have any negative impact on the properties in the area, but will have a positive impact by eliminating an empty parking lot and providing a necessary service to the community. Due to its close proximity to ALDI's Corporate offices, the building will be built with the latest and greatest prototype. This store will be visited by many US and international dignitaries.

8. Impact donations shall be paid to the Village in accordance with all applicable Village ordinances in effect at the time of approval.

All applicable Village ordinances will be followed and impact donations will be paid as required.

9. The plans provide adequate utilities, drainage and other necessary facilities.

Appropriate utilities will be installed to provide sanitary and water service to the site. Drainage patterns will be maintained and storm sewer installed to properly drain the development.

10. The plans provide adequate parking and ingress and egress and are so designed as to minimize traffic congestion and hazards in the public streets.

The plans provide adequate parking for the development and maintain existing parking needed for the current businesses in the PUD. There are safe and adequate routes to access all businesses in the PUD and to enter/exit the development.

11. The plans have adequate site area, which area may be greater than the minimum in the district in which the proposed site is located, and other buffering features to protect uses within the development and on surrounding properties.

The site area and buffering features are adequate for this development and meet Village Code.

12. There is reasonable assurance that, if authorized, the PUD will be completed according to schedule and adequately maintained.

Corporately, ALDI has specific and detailed construction schedules and maintenance plans for their stores. This store is in close proximity to the corporate headquarters and, as such, will be sure to meet and possibly exceed the corporate expectations in these areas.

FINDINGS OF FACT FOR SITE PLANS

Both the Planning & Zoning Commission and Village Board must decide if the requested Site Plan meets the standards established by the Village of Bartlett Zoning Ordinance. The Planning & Zoning Commission shall make findings based upon evidence presented on the following standards:

(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Planning & Zoning Commission and Village Board to review.)

1. The proposed use is a permitted use in the district in which the property is located.

Yes, the proposed use is permitted in the district in which the property is located.

2. The proposed arrangement of buildings, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses.

Yes, the building location, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses.

3. The vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

Vehicular ingress and egress to and from the site and circulation within the site has been evaluated using the program AutoTurn to verify that there will be safe, efficient, and convenient movement of traffic both within the site and on adjacent roadways. Measures have been taken to place landscaped islands and pavement markings to direct traffic patterns as well.

4. The site plan provides for the safe movement of pedestrians within the site.

Safe movement of pedestrians within the site is extremely important to ALDI. As such, careful attention has been paid to the flow of pedestrian traffic throughout the site.

5. There is sufficient mixture of grass, trees and shrubs within the interior and perimeter (including public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses and will provide a pleasing appearance to the public. Any part of the site plan area not used for buildings, structures, parking or accessways shall be landscaped with a mixture of grass, trees and shrubs. (All landscape improvements shall be in compliance with Chapter 10-11A, Landscape Requirements)

Landscaping has been provided in accordance with the Village code and in general conformance to the existing landscaping of the shopping center.

6. All outdoor storage areas are screened and are in accordance with standards specified by this Ordinance.

There will not be any outdoor storage areas for this development. The dumpster will be located in the truck dock, below grade level. The truck dock will be screened by landscaping.

FINDINGS OF FACT FOR MAJOR DESIGN EXCEPTIONS

Both the Planning & Zoning Commission and the Village Board must decide if the requested major design exception is in harmony with the general purpose and intent of the Downtown Overlay District regulations. The Planning & Zoning Commission shall make findings based upon evidence presented on the following standards:

(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Planning & Zoning Commission and Village Board to review.)

1. The exception fulfills the intent to implement the vision of the Village of Bartlett Downtown TOD Plan, including but not limited to maintaining the scale and character of the village and specifically the downtown.

This is constructing a new grocery store on an outlot along Devon Avenue to help strengthen the southern gateway into the downtown as recommended in the Downtown TOD Plan.

2. The development is consistent or compatible with the surrounding context or the vision defined in the village's comprehensive plan, the downtown TOD master plan, and/or other planning documents approved by the village.

This is a new, smaller scale commercial development along Devon Avenue as recommended in the TOD plan and meets the strategic plan objective of attracting a grocery store and recruiting businesses to the downtown.

3. The requested exception results in a development of equal or higher quality and durability of design.

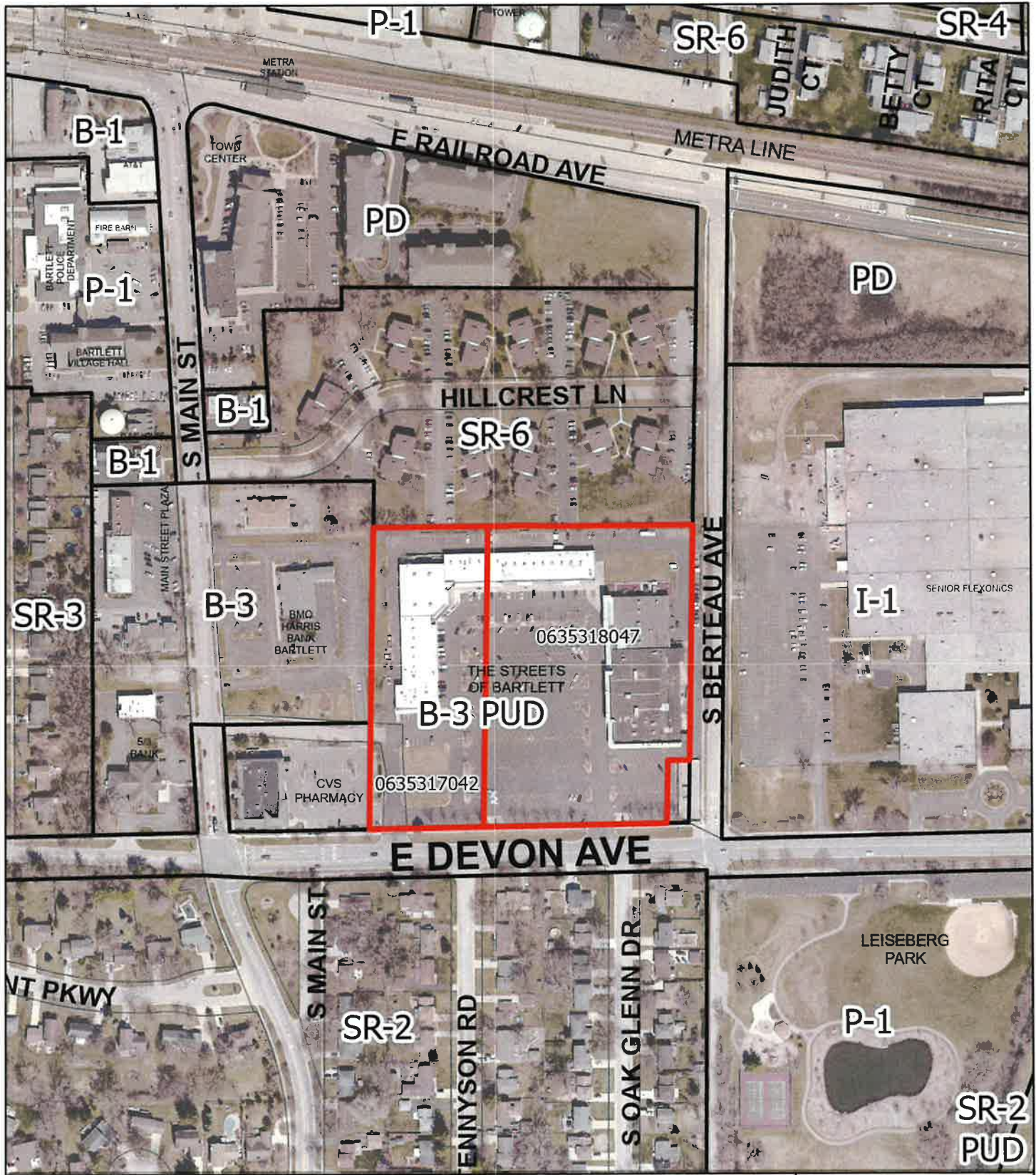
ALDI is building their latest and greatest national prototype facility at this location. The aluminum composite panels are durable and low-maintenance.

4. The resulting development would not impede adjacent development from complying with the overlay district regulations.

Each development is reviewed on an individual basis. The exceptions here are architectural in nature and will not impede adjacent development from complying with the overlay district regulations.

5. The requested exception results from conditions that are unique to the subject development and would not establish a precedent that would prevent the board from reasonably denying a similar exception for similarly situated properties.

This is a unique site in that it's an outlot in an existing development. There is no other property like this in the Downtown Overlay. ALDI is a national company with design standards that have to be met. They are using their latest and greatest prototype standards at this store.



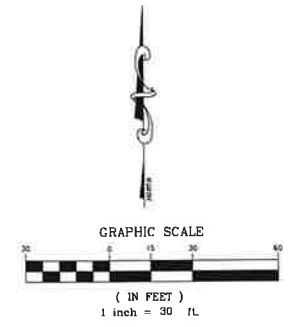
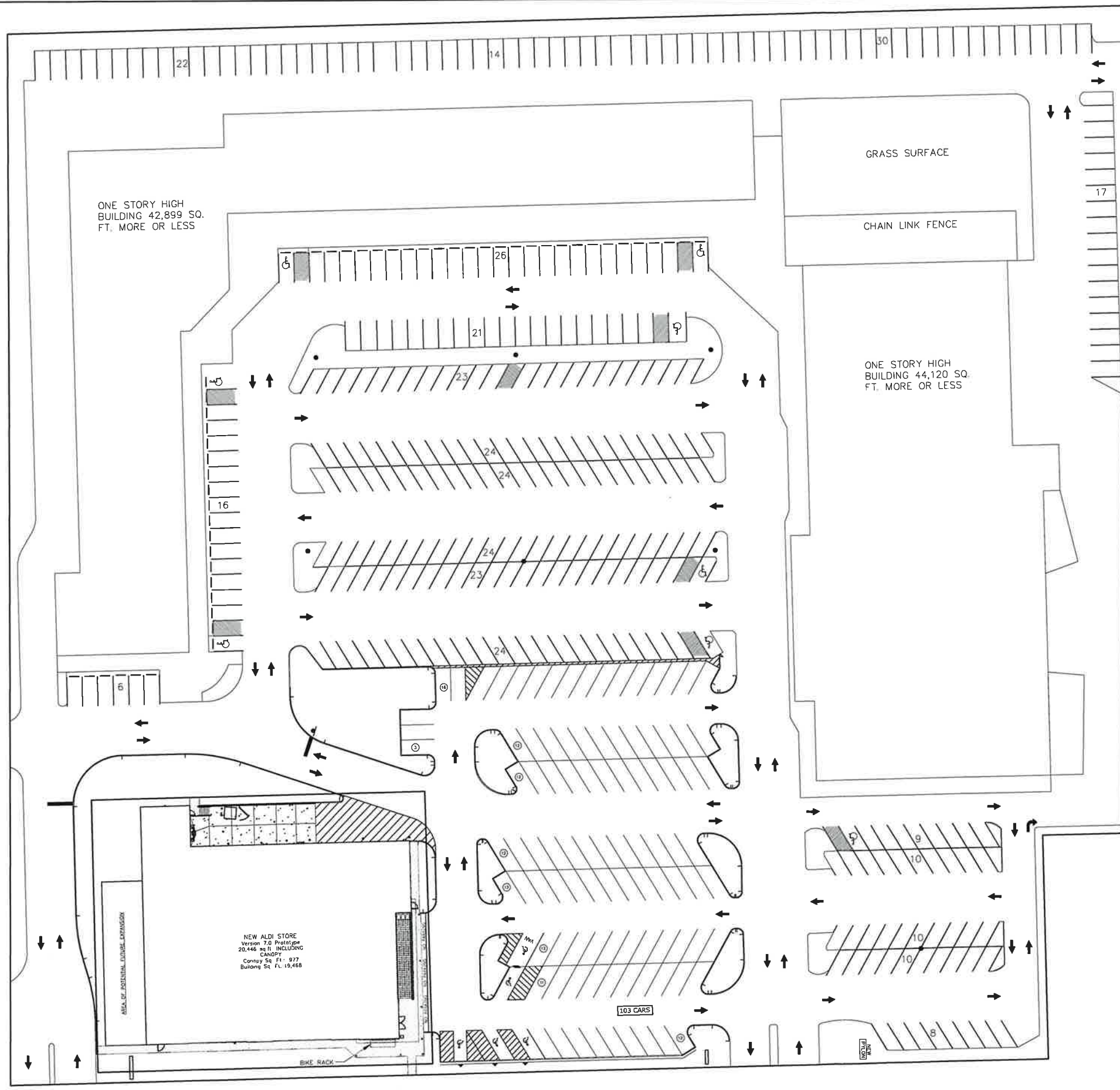
Zoning/Location Map

#2023-03 Aldi

2023



0 70 140 280 US Feet



TOTAL PARKING COUNT FOR STREETS OF BARTLETT SHOPPING CENTER = 444

DATE	REVISIONS	DRAWN BY
1. 03/09/23	VILLAGE REVIEW #1	MKR

ALDI INC. - STORE #89
 BARTLETT, ILLINOIS
 STREETS OF BARTLETT AMENDED PUD PLAN



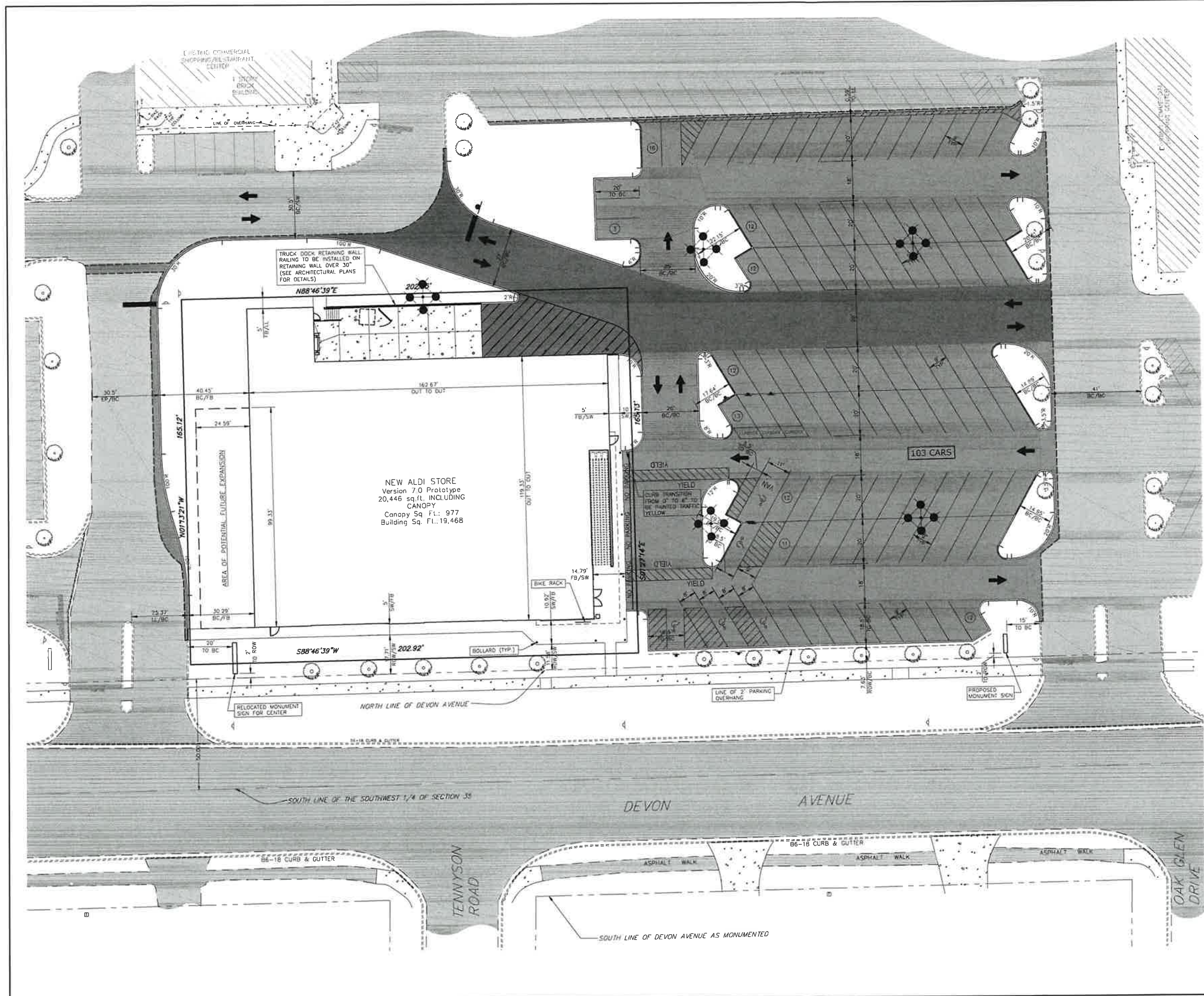
975 E. 22nd St., Suite 400
 Wheaton, IL 60189
 630-460-7889
 WWW.ALDI.COM

Engineering, LLC
 Civil Engineering • Real Estate Consulting • Project Management



PROJECT NO. 58208232
 DATE 02/15/23
 SCALE 1"=30'
 PROJ. MGR. NFK
 PROJ. ASSOC. MKR
 DRAWN BY. TJM

SHEET
 1 of 1



ABBREVIATIONS LEGEND:

EX	EXISTING
PR	PROPOSED
BC	BACK OF CURB
FC	FACE OF CURB
EP	EDGE OF PAVEMENT
PL	PROPERTY LINE
LL	LEASE LINE
FB	FACE OF BUILDING
FW	FACE OF WALK (SIDEWALK)
ROW	RIGHT OF WAY
BC/BC	BACK OF CURB TO BACK OF CURB
SW	SIDEWALK
R	RADIUS
RW	RETAINING WALL
(TYP)	TYPICAL

SURFACE IMPROVEMENT LEGEND:

[Symbol]	EXISTING ASPHALT PAVEMENT
[Symbol]	NEW STANDARD ASPHALT PAVEMENT 12" HOT MIX ASPHALT SURFACE COURSE, MIX "C", N50 BITUMINOUS TACK COAT (0.05 GAL/SY) 2" HOT-MIX ASPHALT BINDER COURSE, IL-19, N50 BITUMINOUS PRIME COAT MC-30 (0.30 GAL/SY) 18" AGGREGATE BASE COURSE CA-8, TYPE B
[Symbol]	NEW HEAVY DUTY ASPHALT PAVEMENT 2 1/2" BITUMINOUS SURFACE COURSE - HOT-MIX ASPHALT, MIX "C", N50 4" BITUMINOUS BINDER COURSE, HOT-MIX ASPHALT, IL-19, N50 0.30 GAL/SY BITUMINOUS PRIME COAT (MC-30) 8" AGGREGATE BASE COURSE, CA-8, TYPE B
[Symbol]	CONCRETE TRUCK RAMP/DOCK 8" PORTLAND CEMENT CONCRETE (4,000 PSI) W/ 6"x4" No. 6 REINFORCING BARS 6" AGGREGATE BASE COURSE CA-6, TYPE B
[Symbol]	CONCRETE SIDEWALK (PUBLIC AND/OR PRIVATE) 5" - PCC SIDEWALK (4,000 PSI) 4" - AGGREGATE BASE COURSE TYPE B, CA-6

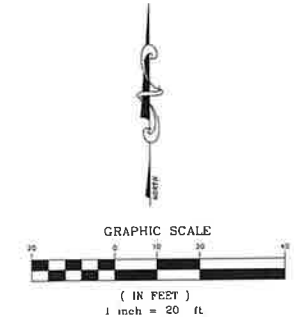
SYMBOLS AND PAVING NOTES:

[Symbol]	PROPOSED 6" CONCRETE BARRIER CURB
[Symbol]	PROPOSED REVERSE PITCH 6612 CURB AND GUTTER
[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	EXISTING DEPRESSED CURB AND GUTTER

- SYMBOLS AND PAVING NOTES:**
- SIDEWALK RAMPS WITH DETECTABLE WARNINGS AND DEPRESSED CURBS SHALL BE INSTALLED AT ALL SIDEWALK CROSSINGS. SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS.
 - UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB, FACE OF BUILDING, OR PROPERTY LINES.
 - UNLESS OTHERWISE NOTED, ALL CURB AND GUTTER SHALL BE 6612 CONCRETE CURB AND GUTTER (SEE CONSTRUCTION STANDARDS FOR SPECIFIC DETAILS).
 - UNLESS OTHERWISE NOTED, ALL CURB RADIUS SHALL BE 4' TO BACK OF CURB.
 - ALL BOUNDARY AND LOT DIMENSIONS ARE SHOWN PER THE SUBDIVISION (OR SITE) PLAN PREPARED BY GENTLE AND ASSOCIATES AND DATED DECEMBER 13, 2022.
 - BUILDING DIMENSIONS HAVE BEEN INDICATED HEREON BASED UPON ARCHITECTURAL INFORMATION CURRENT AS OF THE DATE OF THIS PLAN PREPARATION. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND ADVISE THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - IMPROVEMENTS ADJACENT TO BUILDINGS, IF SHOWN (SUCH AS TRUCK DOCKS, RETAINING WALLS, SIDEWALKS, CURBING, FENCING, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, TRANSFORMERS, BOLLARDS, ETC.) HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS AND DETAILS.
 - THE LOCATION OF PRIVATE SIDEWALKS SHALL BE COORDINATED WITH PROPOSED SIDEWALKS. CONTRACTOR TO VERIFY ACTUAL DOORWAY LOCATION WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTING SIDEWALKS.
 - UPON COMPLETION OF PAVING OPERATIONS, THE CONTRACTOR SHALL INSTALL THE PAVEMENT MARKINGS AND STRIPES AND ALL DIRECTIONAL SIGNAGE, ETC. AS SHOWN HEREON. PARKING STALL (EXCEPT FOR HD) MARKING COLOR IS YELLOW. ALL ON-SITE PAVEMENT MARKINGS AND STRIPES SHALL BE PAINTED WITH DOT SPECIFICATION PAVEMENT PAINT. PARKING STALL STRIPES SHALL BE 4" WIDE. HANDICAP STALLS SHALL BE PAINTED YELLOW AND SIGNED PER FEDERAL, STATE AND LOCAL REQUIREMENTS.
 - PRIOR TO OPENING TO THE PUBLIC, ALL TRAFFIC CONTROL SIGNAGE SHALL BE INSTALLED AS INDICATED. SIGNS SHALL BE INSTALLED WITH 3" SQUARE ALUMINUM POSTS WITH A BAKED ON ENAMEL FINISH, SET 1" INTO CONCRETE PIER AND SHALL INCLUDE A POST CAP.

SITE DATA:

TOTAL DEVELOPMENT AREA:	= 91,110 S.F. (2.09 AC)
EXISTING ZONING:	= B-3/PUD
EXISTING DEVELOPMENT AREA CONDITIONS:	
EXISTING BUILDING FOOTPRINT	= 0 S.F. (00.00%)
EXISTING PAVT./SIDEWALK	= 73,761 S.F. (80.96%)
EXISTING GREENSPACE	= 17,349 S.F. (19.04%)
EXISTING CONDITION IMPERVIOUS AREA	= 73,761 S.F. (1.69 AC)
PROPOSED DEVELOPMENT AREA CONDITIONS:	
PROPOSED BUILDING FOOTPRINT	= 19,468 S.F. (21.37%)
PROPOSED FUTURE BLDG EXPANSION	= 2,443 S.F. (2.68%)
PROPOSED PAVT./SIDEWALK	= 52,069 S.F. (57.15%)
PROPOSED GREENSPACE	= 17,130 S.F. (18.80%)
PROPOSED CONDITION IMPERVIOUS AREA	= 73,980 S.F. (1.70 AC)
PROPOSED PARKING SUMMARY:	
REGULAR STALLS	= 98
ADA ACCESSIBLE STALLS	= 3
TOTAL STALLS PROVIDED	= 103 (5.05/1,000 SF)



DATE: 03/24/23
 DRAWN BY: MKR
 PROJECT NO: 68209222
 DATE: 03/15/23
 SCALE: 1"=20'
 PROJ MGR: NBS
 PROJ ASSOC: MKR
 DRAWN BY: MKR

ALDI INC. - STORE #89
 BARTLETT, ILLINOIS
 SITE GEOMETRIC AND PAVING PLAN

975 E. 22nd St, Suite 400
 Wheaton, IL 60189
 630.480.7889
 www.rwg-engineering.com

RWG Engineering, LLC
 Civil Engineering • Real Estate Consulting • Project Management

PROJECT NO: 68209222
 DATE: 03/15/23
 SCALE: 1"=20'
 PROJ MGR: NBS
 PROJ ASSOC: MKR
 DRAWN BY: MKR

SHEET
 4 of 13

March 23, 2023 3:47:46 p.m. Arctwin 22.0s (LWS, Twp)
 Drawing: 68209222 - BARTLETT ALDI CONCEPT PLAN (CONCEPT PLAN) - CAD/VP/ML/MS - DATE TIME

EXTERIOR FINISH SCHEDULE		
KEY	MATERIAL / MFG.	COLOR / NO.
A1	PREFINISHED METAL COPING	A1 - SILVER - AT HIGH ROOF & CANOPY A1G - PEIERSEN ALUM - MUSKET GREY-AT BRICK A1B - PEIERSEN ALUM - # CEDAR 397C0290 SPRAY CODE - A1 NICHHA TOWERS
A2	SPEC.BRICK CONCRETE MASONRY VENEER	4WABR16L (120" x CARI WALL ONLY) CHESAPEAKE BLEND W/ HOLCIM "SMITH GRAY" MORTAR, MORTAR ALT, SOLOMON "65X DARK" "CHRYC" A1E
A3	PREFINISHED ALUM. SILL	A3 - BRIGHT SILVER A3G - PEIERSEN ALUM # CEDAR 397C0290 SPRAY CODE
A4	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUM.
A5	MEMBRANE ROOFING	GRAY
A6	METAL SOFFIT PANELS	A6 - SOLID PANELS - SILVER METALLIC A6G - 1/2 VENTED PANELS - SILVER METALLIC
A7	EXTERIOR PAINT	
A8	NOT USED	
A9	ALUMINUM COMPOSITE PANEL	BRIGHT SILVER
A10	NICHHA FIBER CEMENT EXTERIOR CLADDING	VINTAGEWOOD 'CEDAR'
A11	BLRD-2	PT-19 / CL-4
A12	BLRD-4	
A13	GUARD RAIL TYPE 'A'	GALVANIZED STEEL
A14	GUARD RAIL TYPE 'B'	GALVANIZED STEEL
A15	BLRD-3	GALVANIZED
A16	DOCK LEVELER / SEAL AND BUMPERS	LEVELER - FACTORY FINISH / SEAL AND BUMPERS - FACTORY FINISH - BLACK
A17	MASONRY CONTROL JOINT	
A18	SCUPPER, 16" OVERFLOW SCUPPER, COLLECTOR & DOWN SPOUT (SEE PLUMBING DWGS)	MATCH COPING ABOVE
A19	ARCHITECTURAL CAST STONE	TANNERSTONE - AG-1
A20	ALDI TOWER SIGN	BY SIGN VENDOR
A21	CRIS	NATURAL
A22	NOT USED	
A23	AUTO DOOR SYSTEM & TRANSOM	ANODIZED ALUMINUM
A24	NOT USED	
A25	8" X 8" PRE-FINISHED ALUM GUTTER	MATCH PREFINISHED METAL COPING
A26	8" X 8" PRE-FINISHED ALUM DOWNSPOUT	MATCH PREFINISHED METAL COPING
A27	ACP H/J TRIM / JOINT COVER	
A28	NICHHA FIBER CEMENT PANEL BASE FLASHING	PEIERSEN ALUMINUM - # CEDAR 397C0290 SPRAY CODE
A29	NOT USED	
A30	DUMPSTER ENCLOSURE	WINCHESTER GREY
A31	NICHHA CONTROL JOINT WITH 'H' CLIP	
E1	EXIT DISCHARGE LIGHT	FACTORY FINISH
E2	WALL SCONCE	FACTORY FINISH
E3	JUNCTION BOX WITH COVER FOR FUTURE CARD READER	
E4	UTILITY METERING & C.T.	FACTORY FINISH
E5	EXTERIOR WALL PACK	FACTORY FINISH
E6	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH
E8	EXTERIOR UPLIGHTING FIXTURES	FACTORY FINISH
F1	FIRE DEPT. CONNECTION	FACTORY FINISH
F2	MOTOR GONG	FACTORY FINISH
F3	HOSE BIB	FACTORY FINISH
F4	RPZ DISCHARGE	FACTORY FINISH
F5	GAS METER	FACTORY FINISH

SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	3	74.9	224.7
TOTAL SIGNAGE			224.7

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL



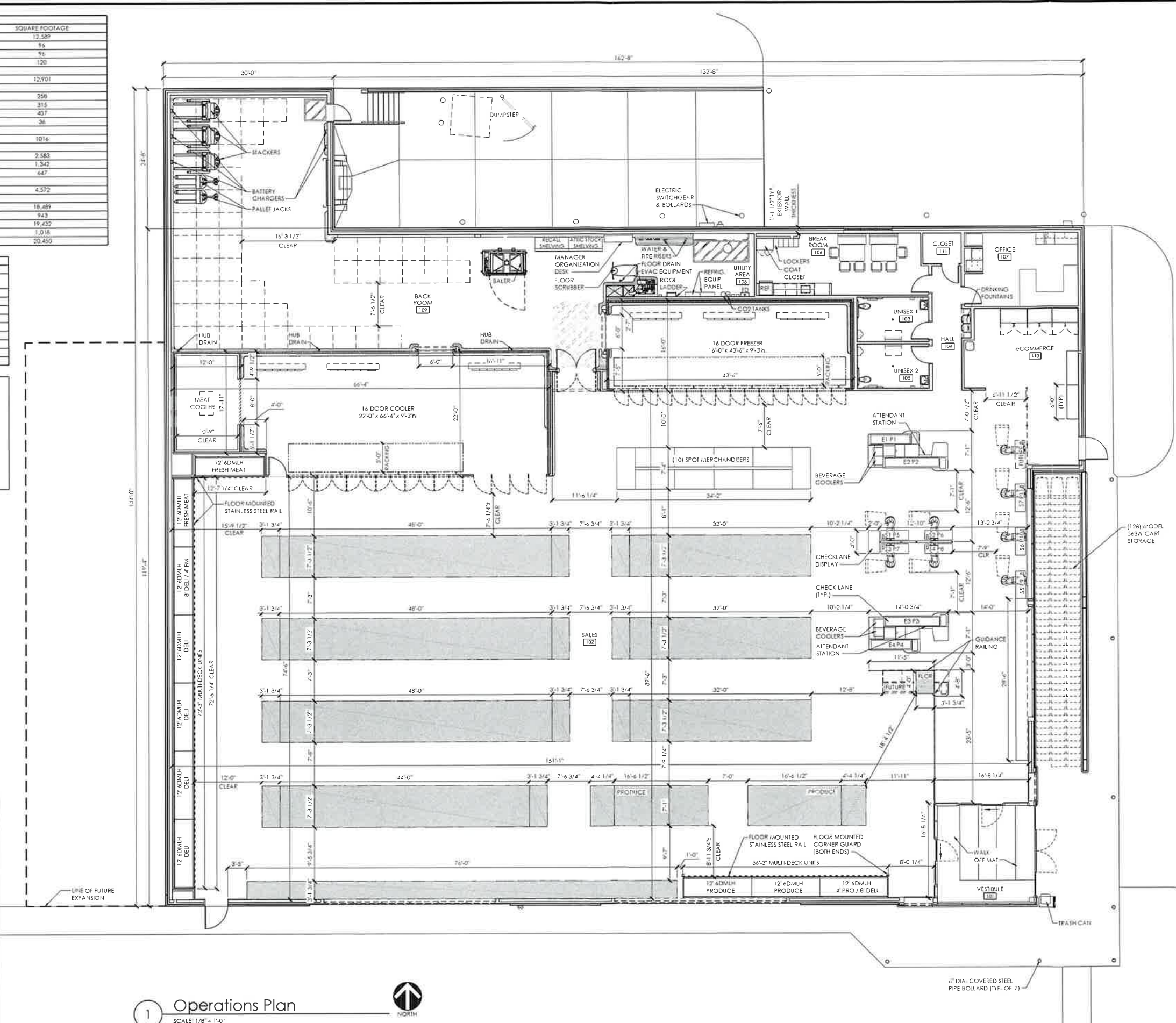
Issued:	Date:
A Issued for Use / Reference	03/14/22
B Issued CEE-1 & CFP-2	05/25/22
C Issued CEE-2 & CFP-3	07/13/22
D	
E	
Revisions:	Date:
1 Updated Signage	01/23/23
2 Added Mechanical Screens	03/07/23
3 Added Niche Fields & Dock	03/22/23
4	
5	
6	
7	
8	
9	
Seal	Seal
PROJECT ARCHITECT/ENGINEER	
PROJECT LEAD	
PROJECT DESIGNER	
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 ALDI Inc. Store #: XX ALDI Bartlett IL Devon Ave. Bartlett IL Cook County Project Name & Location: Exterior Elevations Drawing Name: Date: 03/14/22 Type: RHRDV7ER Drawn By: SRS Scale: As Noted	
Project No. 22-0199A CEE-2 Drawing No.	

PLOTTED: 3/22/2023 12:03 PM

REAR DOCK AREA SUMMARY		
OCCUPANCY USE	ROOM NAME	SQUARE FOOTAGE
MERCANTILE (M)	SALES / VESTIBULE	12,589
	UNISEX 2	96
	UNISEX 1	96
	HALL	120
SUBTOTAL (MERCANTILE)		12,901
BUSINESS (B)	OFFICE	258
	BREAK ROOM	315
	eCOMMERCE	407
	CLOSET	36
SUBTOTAL (BUSINESS)		1016
STORAGE / STOCK (S-Z)	BACK ROOM	2,583
	COOLER	1,342
	FREEZER	647
SUBTOTAL (STORAGE / STOCK)		4,572
SUBTOTAL (OCCUPANCIES)		18,489
EXTERIOR / INTERIOR WALLS / UNOCCUPIED SPACE		943
BUILDING SQUARE FOOTAGE		19,432
EXTERIOR CANOPY		1,018
TOTAL SQUARE FOOTAGE (INCLUDING CANOPY)		20,450

OPERATIONS DATA	
ITEM	THIS PROJECT
LINEAR FOOTAGE OF BASE (PRODUCE INCLUDED)	807'-2"
ASSUMED PALLET STORAGE	57
BUILDING DIMENSIONS	119'-4" x 133'-4"
SALES FLOOR DIMENSIONS	74'-6" x 131'-1"
LENGTH OF MULTIDECK	120'
COOLER MILK DOORS	4
COOLER GENERAL DOORS	12
FREEZER GENERAL DOORS	16
SPOT MERCHANDISERS	10
CART STORAGE	128

- NOTES:**
- THIS DRAWING IS FOR GENERAL FIXTURE LAYOUT AND REFERENCE TO EQUIPMENT ONLY. ALL INFORMATION IS FOR ALDI OPERATIONAL USE ONLY AND SHALL NOT BE USED FOR CONSTRUCTION OR BIDDING PURPOSES.
 - ALL DIMENSIONS TO WALLS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 - THIS FACILITY DOES NOT CONTAIN A BAKERY, A BUTCHER, A DELI OR FISH COUNTER.
 - ALL FOOD IS PREPACKAGED. THERE IS NO ON-SITE FOOD PREPARATION.
 - GONDOLA LOCATIONS ARE MEASURED FROM THE FACE OF THE STAINLESS STEEL PRICE TAG MOLDING (SSPTM).



Issued:	Date:
A Issued for Use / Reference	03/14/22
B Issued CEE-1 & CFP-2	05/25/22
C Issued CEE-2 & CFP-3	07/13/22
D	
E	

Revisions:	Date:
1	
2	
3	
4	
5	
6	
7	
8	
9	

Seal Seal
PROJECT ARCHITECT/ENGINEER
PROJECT LEAD
PROJECT DESIGNER

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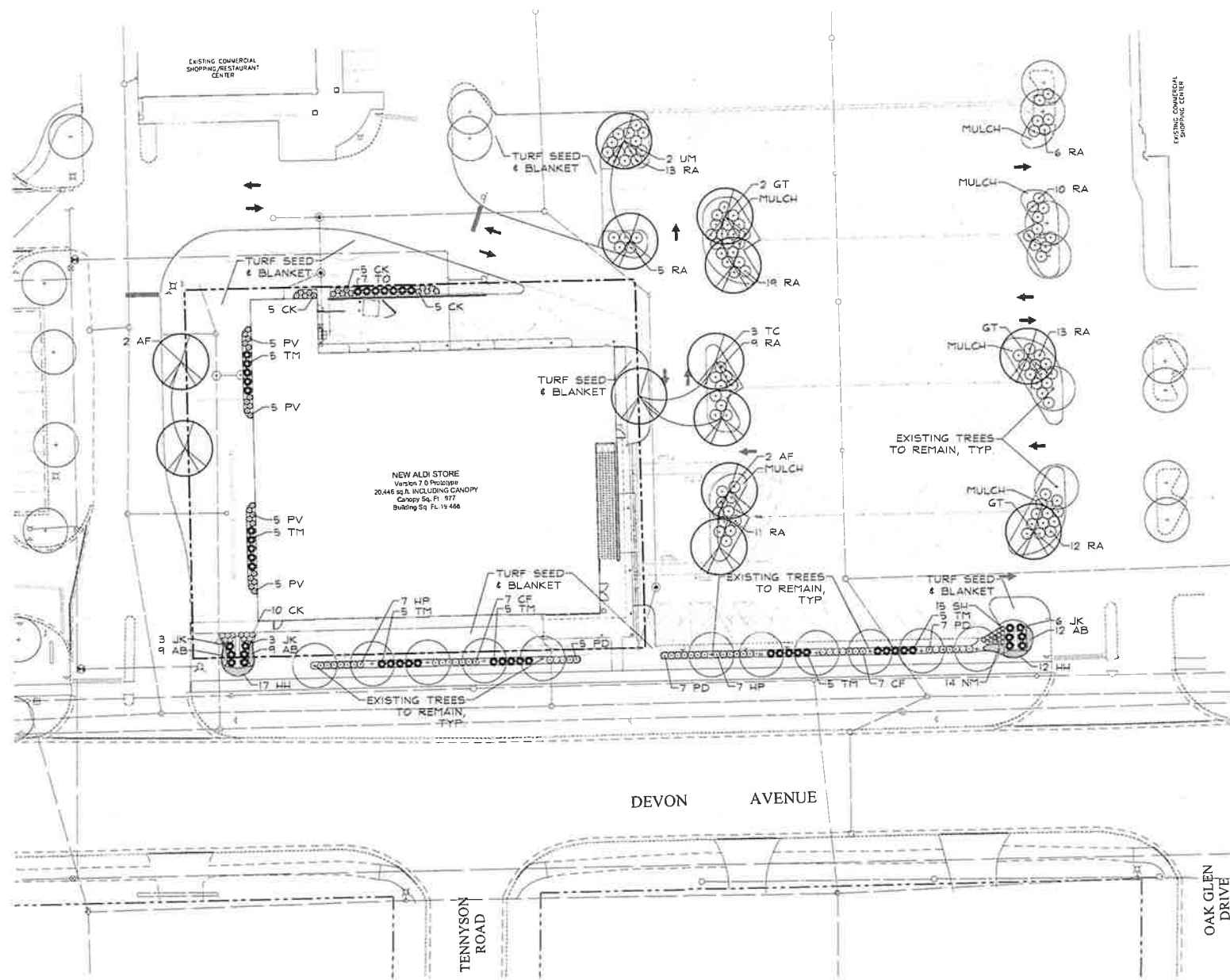
ALDI Inc. Store #: XX
ALDI Bartlett IL
Devon Ave.
Bartlett IL
Cook County
Project Name & Location:

Operations Plan	
Drawing Name:	Project No.
Date: 03/14/22	22-0199A
Type: RHRDV7ER	
Drawn By: SRS	CFP-3
Scale: As Noted	Drawing No.

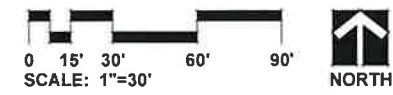
1 Operations Plan
SCALE: 1/8" = 1'-0"
NORTH

PLANT LIST

Key	Qty	Botanical/Common Name	Size	Remarks
SHADE TREES				
AF	4	Acer x freemanii 'Jeffers Red' AUTUMN BLAZE MAPLE	3" Cal	
GT	4	Gleditsia triacanthos f. inermis 'Skycole' SKYLINE HONEYLOCUST	3" Cal	
TC	3	Tilia cordata 'Greenspire' GREENSPIRE LITTLELEAF LINDEN	3" Cal	
UM	2	Ulmus 'Marion Glossy' TRIUMPH ELM	2 1/2" Cal	
DECIDUOUS SHRUBS				
CF	14	Cornus sericea 'Farrow' ARCTIC FIRE REDTWIN DOGWOOD	24" Tall	3' O.C.
HP	14	Hydrangea paniculata 'SMHPLOF' LITTLE QUICK FIRE HYDRANGEA	24" Tall	3' O.C.
PD	19	Physocarpus opulifolius 'Donna May' LITTLE DEVIL NINEBARK	24" Tall	3' O.C.
RA	98	Rhus aromatica 'Gro-Low' GRO-LOW SUMAC	24" Wide	5' O.C.
EVERGREEN SHRUBS				
JK	12	Juniperus chinensis 'Kallay's Compact' KALLAY'S COMPACT PRITZER JUNIPER	24" Wide	4' O.C.
TM	30	Taxus x media 'Densiflora' DENSE YEW	24" Wide	4' O.C.
TO	7	Thuja occidentalis 'Techny' TECHNY ARBORVITAE	48" Ht	4' O.C.
ORNAMENTAL GRASSES				
CK	25	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	#1	30" O.C.
PV	20	Panicum virgatum 'Rotstrahbusch' RED SWITCHGRASS	#1	30" O.C.
SH	15	Sporobolus heterolepis PRAIRIE DROPSEED	#1	24" O.C.
PERENNIALS				
AB	30	Allium 'Summer Beauty' SUMMER BEAUTY ONION	#1	18" O.C.
HH	24	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILIES	#1	18" O.C.
NM	14	Nepeta racemosa 'Walker's Low' WALKER'S LOW CATMINT	#1	18" O.C.
MISC MATERIALS				
35		SHREDDED HARDWOOD MULCH	C.Y.	
0.4		TURF SEED & EROSION CONTROL BLANKET	AC	



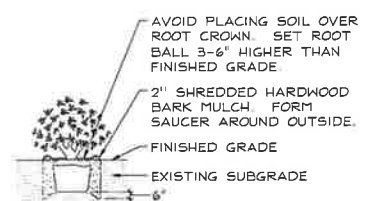
LOCATION MAP
NOT TO SCALE



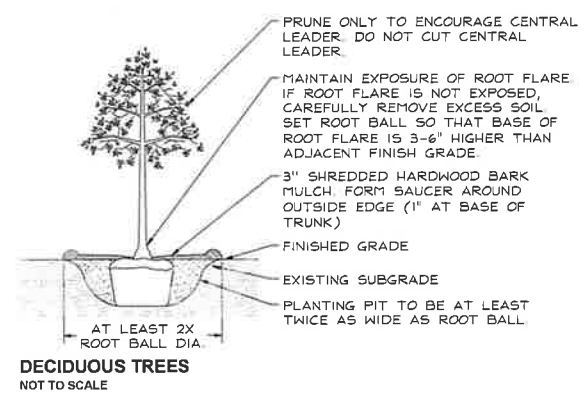
PLANTING DETAILS



PERENNIALS AND GROUNDCOVERS
NOT TO SCALE



DECIDUOUS AND EVERGREEN SHRUBS
NOT TO SCALE



GENERAL LANDSCAPE NOTES

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractor's convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.

GRWA
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ALDI INC. - STORE #682
BARTLETT, ILLINOIS
LANDSCAPE PLAN

1	3 09 2023
REVISIONS	

DATE	2 14 2023
PROJECT NO.	RWG2312
DRAWN	NKF
CHECKED	GFB
SHEET NO.	



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