



VILLAGE OF BARTLETT ECONOMIC DEVELOPMENT COMMISSION

MEETING AGENDA

**Meeting to be held at:
BARTLETT VILLAGE HALL
228 South Main Street, Bartlett, IL
October 10, 2022 – 7:00 PM**

1. Call to Order
2. Roll Call
3. Approval of the August 8, 2022 meeting minutes
4. Public Comment
5. Pasta Mia BEDA Application
6. Banbury Barn BEDA Application
7. MORE Brewing BEDA Application
8. New Business
9. Adjournment



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ECONOMIC DEVELOPMENT COMMISSION MINUTES
August 8, 2022

1. CALL TO ORDER

Commissioner Erickson called the regular meeting of August 8, 2022 of the Economic Development Commission (EDC) of the Village of Bartlett to order on the above date at 7:03 PM

2. ROLL CALL

PRESENT: Commissioners Erickson, Gorski, Gudenkauf, Hughes, LaPorte, Lewensky, Perri, Smodilla

ABSENT: Commissioner Kubaszko

ALSO PRESENT: Economic Development Coordinator Tony Fradin, Management Analyst Joey Dienberg

3. APPROVAL OF JUNE 27, 2022 MEETING MINUTES

Commissioner LaPorte moved to approve the June 27, 2022 meeting minutes, seconded by Commissioner Perri.

AYES: Commissioners Erickson, Gorski, Gudenkauf, Hughes, LaPorte, Lewensky, Perri, Smodilla

NAYS: None

ABSENT: Commissioner Kubaszko

MOTION CARRIED

4. PUBLIC COMMENT

NONE

5. DEVELOPMENT SITE DISCUSSION

Mr. Fradin presented a variety of development sites, stating that in 2016, the EDC worked for several months on an Economic Development Marketing plan.

At the time, the commercial and industrial vacancy rates were high so the primary focus was to work towards filling empty spaces.



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We also discussed plans and strategies for attracting new development to vacant land sites throughout the village.

Since that time, the overall economy improved for a number of years and the village's did, as well. The BEDA program was created, which has resulted in sixteen grants totaling \$384,000 for business projects, the biggest one being the redevelopment of the former Bartlett Plaza into the Streets of Bartlett.

Some new commercial construction including new car washes, Culver's, True North, the "new" Bartlett Plaza in the Home Depot out lot and the Galleria of Bartlett have increased the occupancy rate, while three chronically vacant buildings have since been demolished.

Numerous industrial sites have been built since then, resulting in hundreds of millions of dollars worth of investment, millions of new square feet of construction, and many new businesses.

Most of the vacant commercial land sites from the 2016 Marketing plan remain vacant. However, staff is currently working with several prospects on key sites throughout the village including the Crown Development site, the Heidner property, the northwest corner of County Farm and Stearns Road, a ten-acre parcel on the west side of Route 59, a 2.9-acre commercial site in Kane County, and village-owned properties at Route 59 & Lake Street and Opportunity Site E in downtown.

The following is a summary of new economic development projects that we hope to bring to town over the next few years:

Village-owned ten-acre parcel

Following years of working to attract retail development, and then high-end apartment development to the site at the southwest corner of Route 59 & Lake Street, the village is currently working with Mr. Bob Loquercio on two automobile dealerships further west of the site at the former Barrington RV property.

The project, known as the Bartlett Automotive Mall, gained Village Board approval in late December and is currently proceeding through Cook County for approval of a Class 7c property tax incentive.

Commissioners Perri and Hughes clarified the size and location of the parcel.

Crown Development property

The largest undeveloped site in the village remains the northwest corner of Route 59 & West Bartlett Road.

There have been multiple development proposals at the site over the years which have not proceeded for a variety of reasons.



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At present, a division of Crown Development is proceeding with approvals and entitlements for a project known as the Grasslands subdivision, which would have multiple phases, a variety of housing units totaling 231 dwelling units (81 single-family homes, 60 active-adult ranch homes and 90 active-adult duplexes), and six acres of commercial zoning at the hard corner.

This would be the largest new subdivision built in several decades and is a project with many facets. It will take several years to develop and staff intends to work closely with the development team to attract suitable and sustainable commercial development to this high-profile corner to serve the future new residents and the village as a whole.

The Heidner property

The three-acre property at the northwest of Route 59 & Schick Road has long been targeted for retail development.

The Rajabali family, who owns numerous Dunkin' Donuts franchise units including in Bartlett, is currently moving forward with plans to subdivide the lot and construct a new free-standing 1,970 SF drive-thru unit with outdoor seating on the corner. They previously built and currently operate a similar store at the site of the former Burger King on Lake Street.

Northwest corner of Stearns and County Farm Road

Staff has been engaging with the owner of the 4.6-acre commercial site at the NWC of County Farm and Stearns about future development of the site.

Mr. Harshil Patel also owns the two BP stations in town and has been working on plans for this site on the eastern edge of the village.

Generally, his plans call for a neighborhood-oriented shopping center with food-related uses, service providers and potentially a day care facility.

West side of Route 59

Roughly midway between Army Trail Road and Schick Road is a ten-acre site that was zoned and approved for a retail center in 2007.

Due to a number of factors including not being located at a hard corner, this site has remained undeveloped to date.

Several years ago, a company that owns and operates senior living facilities purchased the site with plans to expand into this market.

Clover Communities concept is for a 119-unit market-rate senior, independent-living development on the 10.05-acre property located on the west side of Route 59, directly south of the 7-11 at the corner of Route 59 and Schick Road.



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The proposed three-story building would contain four (4) 1-bedroom units and 115 2-bedroom units with brick and siding on all building elevations and each unit having a patio or balcony.

Southwind Business Park site

On the far western edge of town in Kane County, economic development staff is working with a commercial/retail developer to build a retail strip center on the south side of West Bartlett Road at Southwind Blvd.

The residents on the west side of town have long requested shopping options in the area, and there are also now over 300 new homes on the west side of Route 25 in South Elgin between Kenyon Farms, South Pointe, and Park Pointe.

As the industrial parks have continued expanding rapidly in the village's Kane County portion, the first convenience store and fuel station, True North (d.b.a. Shell), was completed last year. A resident who lives in one of the new homes in Bartlett Pointe West and owns multiple area businesses recognizes the great opportunity to be the first commercial rental property owner in that area and is currently working on developing plans for the 2.9- acre site.

We anticipate working closely with him on this project and updating the EDC on its progress as it makes its way to the Planning & Zoning Commission and, ultimately, the Village Board.

Like the site at County Farm and Stearns, this strip retail center will mostly cater to the surrounding neighborhoods and will include a convenience store and other food-related and personal service uses.

The East Lake Street corridor

Lake Street serves as the village's northernmost border and consists of a mix of future development sites including several that are unincorporated.

The village has engaged with potential developers on a number of sites including another potential senior-living development, used car dealerships, and fuel stations.

One challenging site consists of a trapezoid-shaped 1.92- acre site that is unincorporated and includes multiple functionally obsolete structures.

I have met with multiple potential developers and end-users, none of whom have yet moved forward with any plans. When the site finally does get developed, it will require multiple zoning-related approvals and possibly some incentives to move forward.

Another future development site is an 8.5-acre parcel on the south side of Lake Street where Park Blvd. meets it on the north side. The purchaser from early last year intends to build a multi-phase senior living facility, including active adult housing, but I have put



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him in touch with multiple commercial developers in an effort to attract sales-tax producing uses.

Commissioner Lewensky asked Mr. Fradin to elaborate on what active adult housing means.

Mr. Fradin stated they are smaller ranch-style homes on smaller lots, with limited property maintenance. He added that some units will be age restricted.

Commissioner Lewensky asked if that is cause for concern, due to the aging demographics of the community.

Mr. Fradin stated he is not concerned from an economic development or planning standpoint, adding that the developer will have to obtain a certificate of need before moving forward. He added that the aging demographics is a trend in the overall area and is not specific to Bartlett. A development like this allows Bartlett residents that want to “age in place” to stay in the community.

Commissioner Erickson stated that this type of housing fits a specific niche of residents that want to get rid of the big large house and remain active in the community, while staying close to their kids and grandkids.

Commissioner Lewensky asked about Site E.

Mr. Fradin said that it has been delayed due to supply chain issues, material costs, etc., but Mr. Rafidia plans to start in the next six months.

Commissioner Perri stated that it was a good thing that apartments weren't built on lake street from a sales tax perspective.

Mr. Fradin stated that it was still a good project designed to be a high-end apartment development, and could have been good use, but is thrilled beyond belief to have the auto dealership go in.

Commissioner Hughes stated that a high-level apartment building would have been good to bring in a higher population density, while still attracting a certain level of education, economic status, etc.

SWC of Devon Avenue and Prospect Avenue

The SWC of Devon and Prospect is a 3.8-acre infill site on the DuPage County side of the street. The site is zoned for commercial development and is owned by an Oak Brook-based developer.

Commissioner LaPorte asked about the possibility of a grocery store.

Mr. Fradin stated that is something they are always working on, and is the number one priority for a new business.



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6. BUSINESS SURVEY

Mr. Dienberg stated that a key component of the Village's strategic planning process, is obtaining resident feedback, and incorporating that feedback into the Village's goals and vision of success. The Village of Bartlett is committed to preserving the high quality of life enjoyed by its residents, providing fiscally sound, responsive municipal services and delivering those services in a professional manner with a high degree of integrity.

In order to accomplish this mission, the village is asking residents to take a few minutes to share how they feel about a variety of municipal services. A community survey will be accessible on the village website from August 1 through October 15. However, residents are not the only valuable voice that staff needs to hear from, A business community survey can provide that much needed additional input from a business perspective, in concert with resident input. the results of this survey will be a key part of the village's strategic planning process, setting priorities for the future. Staff is recommending the use of the survey included in the packet.

Through a recent survey of other municipalities, staff has gathered some information about other community's recent efforts at completing a business community survey. Through this survey, staff was able to view these survey questions and methodology, and using their examples staff crafted a survey specifically for the Village of Bartlett.

This survey will be implemented in a variety of ways, to help reach the greatest number of businesses. Primarily, the survey will be available digitally through the village's website. To advertise the survey, staff will promote through our business eblast system, social media, the chamber of commerce, as well as some old fashioned cold-calling.

Our GIS/IT staff has built the survey in house using ArcGIS Survey123, which is a part of the village's subscription at no extra cost. The analytics of the survey responses can be captured with this software, and it provided the best design options as well. Staff will be doing all analysis in-house; the goal of this survey is to collect data that will be useful in the strategic planning process. Staff will be looking for trends based on where a business is located, the size of the business, the nature of the business, and other key demographics to try to best understand how our business' needs are or are not being met.

Mr. Dienberg asked if any of the commissioners had any questions.

Commissioner Erickson asked if staff will be using a postcard similar to the one shown to the EDC for the resident survey.

Mr. Dienberg stated they will do a direct mailing of postcards with a QR code, as well as using the eblast system.



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Commissioner LaPorte asked if there is a digital version of the resident survey.

Mr. Dienberg stated that it has been posted to the village website, social media, and there is a link on the postcard shown, and added that they are currently at 300 resident surveys. He added that staff mailed a paper to survey everyone on the senior discount water billing list.

Commissioner Erickson asked about reaching out to other taxing bodies to help share.

Mr. Dienberg stated that we have, but we are being conscious of residents not knowing who provides what service, and having them know which taxing body they are filling the survey out for.

Commissioner Lewensky stated that this appears well done, and congratulated staff on putting it together.

Commissioner Erickson asked how long they will be accepting surveys.

Mr. Dienberg stated that the resident survey will run 8/1-10/15, and the business survey will run 9/1 – Thanksgiving.

Commissioner Gudenkauf asked if they would look different so people aren't confused.

Mr. Dienberg stated they would.

Commissioner Perri asked what kind of response staff is looking for.

Mr. Dienberg stated a good response is around 20-30 percent, but with the engagement of the business community, staff is hoping for higher.

Commissioner LaPorte suggested adding information about Small Business Saturday.

Mr. Dienberg said that they will take a look at that.

Commissioner Gorski recommended increasing the font size for the senior mailing.

Mr. Dienberg stated staff has done that.

Commissioner Erickson recommended adding a question about whether they are chamber members.

Mr. Dienberg stated that staff will take a look at that.



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Commissioner Erickson recommended commissioners share the surveys with friends and family.

7. NEW BUSINESS

Mr. Fradin updated the commissioners on the upcoming Oktoberfest.

Commissioner Erickson added that the event is being hosted by the Bartlett Area Chamber of Commerce, Lions and Rotary Clubs at Leiseberg Park on 9/30-10/1. She is hopeful that it is a successful event

Commissioner Gudenkauf stated that they have all put in a lot of work, and they hope the event goes well.

Mr. Dienberg added that staff has also begun its Merry & Bright preparations getting ready for the holiday season.

There being no further business to discuss, Commissioner Gudenkauf moved to adjourn the meeting. Seconded by Commissioner LaPorte

ROLL CALL VOTE TO ADJOURN

AYES: Commissioners Erickson, Gorski, Gudenkauf, Hughes, LaPorte, Lewensky, Perri, Smodilla

NAYS: None

ABSENT: Commissioner Kubaszko

MOTION CARRIED

The meeting was adjourned at 8:01 p.m.


Joseph Dienberg
Management Analyst

ECONOMIC DEVELOPMENT MEMORANDUM

DATE: October 4, 2022
TO: Chairman and Members of the Economic Development Commission
FROM: Tony Fradin, Economic Development Coordinator *TF*
RE: Pasta Mia BEDA Application

APPLICANTS: Peter Caruso

BACKGROUND: Pasta Mia is a successful long-term business that has served as a downtown Bartlett eating and drinking establishment for going on thirty years.

Owner and operator Peter Caruso has expanded and upgraded his business multiple times including expanding into a neighboring medical office ten years ago and, more recently, upgrading the outdoor dining space to include a patio and additional seating.

Caruso books live entertainment on a continual basis and offers different food specials on a weekly basis, keeping the establishment a lively venue with an excellent variety of offerings.

Pasta Mia is one of the longest-running establishments in downtown Bartlett, sometimes being the most popular destination in the former Bartlett Plaza when the center suffered from a vacancy rate exceeding fifty percent for many years.

Now that the Streets of Bartlett has been redeveloped and is the liveliest center in the downtown, Caruso continues seeking ways that will allow the business to thrive for many years to come.

BEDA APPLICATION:

Mr. Caruso's application is to remove the existing storefront windows and re-install sliding windows.

Doors and windows are typically a customer's first impression of an establishment and play a part in setting the tone for a visit.

This improvement will create a more seamless transition from the interior to the exterior patio and should improve the restaurant's personality and be consistent with its brand as the go-to Italian eating establishment in downtown Bartlett.

A proposal from A&S Glass Co. of Oak Lawn is attached with an estimate of \$36,000.

RECOMMENDATION:

Taking into consideration Mr. Caruso's long-term commitment to operating a venue that we could not even imagine not being located at the northwest corner of Streets of Bartlett, the fact that the village has never directly provided a financial incentive to the

business (it has on multiple occasions to the shopping center owner), and the improvement that this project will make to not only the business, but the shopping plaza and downtown Bartlett as a whole, staff recommends a maximum fifty percent grant in the amount of **\$18,000**, to be paid once this project is completed to all applicable village codes and proof of payment is submitted.

Village of Bartlett Economic Development Assistance Application

Applicant Information:

Applicant(s) Name Pasta Mia Peter Caruso
Applicant(s) Address: 116 Barnett Plaza, Bartlett IL
E-Mail Address: Petercaruso2@yahoo.com
Primary Contact for Project: Peter V. Caruso
Cell Phone Number and/or Home Number: 630 -
Applicant is or will be (check all that apply) Tenant Property Owner
Number of Years in Business: 35 Number of Years in Bartlett: 30
Contact Name and Information for Applicant's Agent or Architect (if any):

Peter Caruso

(Note: if applicant is a tenant, attach a letter from the property owner granting permission for project)

Property Information:

Project Property Location/Address: 116 Barnett Plaza
This Property is (check all that apply): Retail Restaurant Office
Other (explain) _____
Number of Businesses on Site: _____
Names of Other Businesses on Site: _____
Size of Building (dimensions or total square feet) 4300
Stories in building: 1 Parking spaces on property: _____
Last Real Estate Taxes Paid: _____
Property Tax Index Number(s) (PIN): _____
County: Cook DuPage Kane

Project Information:

Total Anticipated Project Cost: \$ 40,000.00

Project Scope: Describe and identify all exterior/interior improvements proposed (Use additional paper if necessary to fully describe proposed project)

Removal of windows and replace with sliding windows

If approved, estimated project completion date: 2 months

Business Plan: For new business ventures, please include a two- to five-page business plan. Contact Tony Fradin with questions about the seven elements of a strong plan.

Please Attach: Contractor Estimates, Receipts; Copies of both sides of cancelled checks, credit card statements or bank accounts from which materials were purchased and contractors paid; Waivers of Lien

Application Statement (Read and Sign Below)

I hereby make application to participate in the Bartlett Economic Development Assistance (BEDA) program. In making this application I understand that the purpose of BEDA is to help encourage and leverage private investment in the Village's business community and help my business bring an underperforming property into more productive use.

I understand that prior to commencing any work, the Village must first approve both my participation and proposed scope of work for the project. Applicants must meet with Economic Development staff prior to paying for improvements in order to review how much, if any, the Village may reimburse for the project.

I understand that all improvements made through the help of BEDA must be in accordance with all Village plans and codes. Moreover, as a condition of approval, I understand the Village may require changes to the scope of work I am proposing. I further understand that any work started or completed prior to approval of the project and my participation in the BEDA program is not eligible for reimbursement.

In making this application, I understand that the BEDA program is competitive, funds are limited and selection for participation is at the sole discretion of the Village of Bartlett. I understand that the Village will review my application and at the Village's discretion may reject or approve my participation in the program. I recognize that a project that enhances the Village's business climate by returning an underutilized property into economic productivity, increases local employment opportunities and includes a larger percentage of private investment than public stands a greater chance of being funded by the Village.

I also understand that if selected for this program, the Village will establish a maximum grant award for the project

I further acknowledge that BEDA operates as a rebate program and, therefore, if selected for participation, Village funds will be disbursed to me at the conclusion of the work, after submittals by me of copies of all bills and satisfactory evidence of their payment, either by lien waivers or bills stamped "Paid" by all contractors. I understand that the actual rebate amount will be calculated at some percentage as recommended by staff in relation to the documented actual costs by me for eligible expenses to complete the agreed upon improvements, up to the maximum grant amount awarded by the Village for the project.

By signing this application, I hereby acknowledge that I have read the above statement and understand these important features about the BEDA Program.

[Handwritten Signature]

Applicant Signature

8/26/22

Date



Return this completed application with attachments to:

Tony Fradin, Economic Development Coordinator

Village of Bartlett

228 S. Main Street

Bartlett, IL 60103



PROPOSAL

SUBMITTED TO -

FOR WORK PERFORMED AT

Pasta Mia
116 Bartlett Plaza
Bartlett, IL 60103

5516 W 110th Ave ❖ Oak Lawn, Illinois 60453 ❖ Phone: 708/422-1100 ❖ e-mail: aandsglass@aol.com

JOB DESCRIPTION

A & S Glass Co proposes to remove the existing storefront windows and re-install the top section with arch windows.

Three opening (2 – 206 x 64 & 1 – 216 x 64) in bronze finish with 1" thick, thermal tempered glass. These opening will be bi-fold doors. Six panels, three to each side.

ITEMIZED ESTIMATE

All material is guaranteed to be as specified and the above work to be performed in accordance and completed in a substantial workmanlike manner for the sum of : **\$36,000.00**

If the proposal is accepted, payment of half is required upon acceptance of the proposal and the balance is due upon completion of the project. A deposit for this project is equivalent to a signed proposal.

Quoted prices are valid for 30 days from generated date.

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are satisfactory and are hereby accepted. A & S Glass Co is authorized to perform the work as specified. Payment will be made as outlined above.

Date: _____

Signature _____

VAR 8/24/2022

Thank you for your business

ECONOMIC DEVELOPMENT MEMORANDUM

DATE: October 3, 2022
TO: Chairman and Members of the Economic Development Commission
FROM: Tony Fradin, Economic Development Coordinator *TF*
RE: Banbury Barn 215 W. Railroad Avenue BEDA application

APPLICANTS: Bruce & Janet Suffern

BACKGROUND: Banbury Fair is the long-time retail anchor of downtown Bartlett, having been in business for thirty-nine years.

The historic barn on the property dates back to 1902 and is in the process of being renovated and brought up to current Code in order to convert it into a food and beverage business. This conversion requires extensive renovation including electrical and plumbing upgrades, new windows and doors, a fire suppression system, parking lot repairs, HVAC, a deck, and equipment supporting the food and beverage uses.

Previously, the Sufferns applied for a BEDA grant relating to costs primarily associated with running new water and sewer lines to the entirety of their adjoining properties and construction of a new structure housing bathrooms and a prep area.

The Village Board approved a \$50,000 BEDA grant at the March 1, 2022 meeting based upon \$242,548 worth of improvements made. Both the EDC and the Village Board were apprised of a second-phase application to be made at a later date primarily relating to the build-out of the barn.

This project is eligible for two BEDA grants due to being two distinct properties, each with its own PIN, and the barn to be issued a new address upon completion: 215 West Railroad Ave.

BEDA APPLICATION:

The Sufferns have submitted estimates totaling \$154,182 for this project, which is currently underway. Approximately \$82,000 worth of costs are to be paid by them as the landlords, with the remainder being paid by their tenant.

Estimated costs from their general contractor, Mark Leffler of Skillcraft Construction, total \$51,000 and include items ranging from air conditioning to flooring to asphalt parking lot repairs. Additional costs include nearly \$20,000 for windows and doors and over \$7,000 for an upgraded fire alarm system.

RECOMMENDATION:

Staff recommends a BEDA grant in the amount of **\$41,000** in support of this project. This is based upon the approximately \$82,000 in expenses that are directly attributable to the Sufferns towards the permanent improvements being made to the barn property.

Expenses estimated for renovation and restoration of historic barn to house a wine bar business at 115 w railroad ave. (formally 211 west railroad ave.)

1: removal of the existing windows and doors and replacing with new upgraded window and doors.

Removal ...\$5200

Woodland Windows and Doors...\$14727

Total...\$19,927

2: the electrical wiring to be replaced with new fixtures. Plus a sound system with security is needed.

Signal-Tek Inc. Electrical Solutions\$14,159

3. Fire Alarm system needs to be installed. Work by Low Voltage Systems Inc. installation of the necessary conduit, boxes and monitor devices.

Labor and materials\$7,105

4. Custom built tables, wine rack, bar, outdoor signs, window tables, décor, wine caddies, reception desk, chalk board, wine barrel tops, sliding door.

Patriotic Frog\$28,800.00

5. Equipment required to house and serve liquor: 6 faucet beer tower, direct draw cooler, Blower system, 6 product trunkline, drip tray with rinser, gas blender, 60lb. co2 tank, and nitrogen tank.

Chicago Draft Cost.... \$33,190.91



Estimated Costs

Mark Leffler
September 5, 2022
29W648 Trinity Ln.
W. Chicago, IL 60185
Fax: 630-837-7941

708-641-9637

Date:

Insured

Incorporated

Owner: Bruce & Jan Suffern
Job Location: 215 Railroad Ave
60103
Contact: Bruce Suffern
Phone: 630-

City: Bartlett

Zip:

Air conditioning	\$ 7,000.00
Kitchen flooring	\$ 4,000.00
Seating area flooring	\$ 6,000.00
Asphalt Pk. Lot repair	\$ 7,000.00
New entrance ramp	\$ 4,500.00
New entrance deck	\$ 5,500.00
Carpentry	\$ 5,000.00
Electrical	\$ 5,000.00
Plumbing	\$ 4,000.00
Painting	\$ 3,000.00
Total	\$ 51,000.00

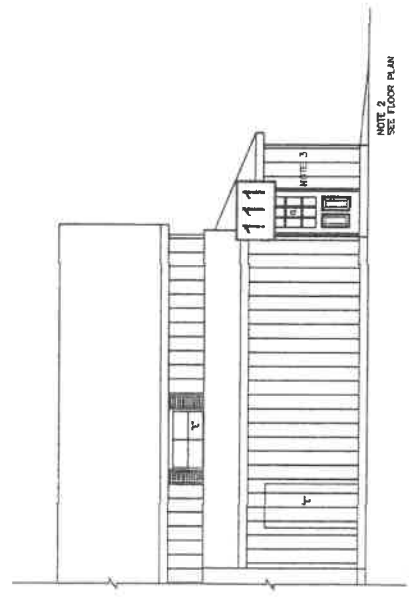
Grand total = \$ 154,182



NORTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"

- CONSTRUCTION NOTES**
- NOTE 1
NOT USED
 - NOTE 2
NEW RAMP AND BALINGS
 - NOTE 3
REMOVE EXISTING SLIDING DOOR AND
REPLACE WITH GLASS DOOR AND
NEW INSULATED EXT DOOR
 - NOTE 4
REMOVE EXISTING DOOR AND INSTALL
NEW INSULATED EXT DOOR
 - NOTE 5
NEW WINDOW IN EXISTING OPENING
 - NOTE 6
REBUILD OR REPLACE EXISTING WINDOW
/ FLOOR DOOR
 - NOTE 7
NEW WOOD DECK / PLATFORM AND
STEPS (ACCESSIBLE EXT)
 - NOTE 8
NOT USED
 - NOTE 9
NOT USED
 - NOTE 10
NEW OR REPLACE WOOD SHUTTERS



COMMERCIAL SALES AGREEMENT

TOWN NO.
0332-CHICAGO
NORTH

CUSTOMER NO.
135106378

JOB NO.

PO NO.

ESTIMATE NO.
1-5SU3W2J

SCOPE OF WORK / SCHEDULE OF PROTECTION

IV. SCOPE OF WORK / SCHEDULE OF PROTECTION ("SOW"): Johnson Controls agrees to install or cause to be installed the Equipment and furnish the Service(s), collectively, the System, on the terms and conditions set out in this Agreement.

A. Ownership of System and/or Equipment: Direct Sale (equipment to become property of the Customer upon payment of Installation Charges and Fees in full).

B. Services to be Provided ("Services")

Alarm monitoring and Notification Services:	No Service Selected
Video Surveillance Services:	No Service Selected
Managed Access Control Services:	No Service Selected
Video Equipment:	No Service Selected
Maintenance Service Plan; Preventive Maintenance/Inspection:	Expert Maintenance and 1 Fire Alarm Inspection PROVIDED
Additional Services:	Other Service or No Service as specified PROVIDED

C. Equipment to be Installed ("Equipment"): Johnson Controls will install, or cause to be installed, the Equipment (or equivalent), as set forth in this SOW in Customer's designated facility(ies). As used herein, "installation" means: (i) affixing all Equipment and materials provided by Johnson Controls at such locations within the facility(ies) as are designated by Customer; (ii) providing and pulling cables/wires required to connect the Equipment to Customer's Communications Facilities and making such connections; (iii), in the case of a Digital Communicator installation, mount Equipment and plug into RJ31X phone jack previously installed by Customer; (iv) in the case of radio installation, mount radio Equipment and program Equipment with number furnished by Customer; (v) providing and installing software/firmware required by the Equipment; (vi) performing testing as required to establish that the Johnson Controls Equipment is connected, is functioning according to its specifications, and is communicating over Customer's Communications Facilities; and (vii) providing user-level training to Customer's designated representative in the use of such Equipment.

Qty	Product Name	Location
1	Honeywell, Fire-Lite Addressable, 50 Point Fire Alarm Control Panel	Near Electrical Panel
2	12V 18AH BATTERY (112-046)	In FACP
4	ADDRESSABLE PULL STATION	Front, Rear Door & 2nd Floor Location
6	Combo SMOKE PHOTO/THERMAL FL WHITE	Above Fire Alarm Panel
2	2-Wire Wall Horn Strobe, Red, 4x4	Front & Rear Exits
2	2-Wire Ceiling Horn Strobe, Red	Bar Area & 2nd Floor
1	Ceiling Strobe, Red	Dining Room
1	Red, outdoor strobe with settings of 15, 15/75, 30, 75, 95, 110 and 115 cd	Outside Door
1	JCI to provide programming, final test and submittal	
1	Test System with Fire Department	
1	CAD Submittals & Drawings	
200	18/2c, SOL, Unshielded, CMP/FPLP, Plenum, Red, 500' Box	Smoke, Pull Station Wire
200	14/2c, SOL, Unshielded, CL3P/FPLP, Plenum, Red, 500' Reel	Horn Strobe Wire
1	Conduit runs, junction boxes to install system to be provided by others.	
1	Standard Permit Fee Included, Any Extra Village Fees Not Included	

D. CHARGES AND ESTIMATED TAX:

1. Installation Charge:

Installation Charge Amount:	\$7,105.26
* Estimated Tax(es):	\$0.00
TOTAL INSTALLATION CHARGE:	\$7,105.26
Installation Deposit Amount:	\$0.00

2. Annual Service Charge:

Annual Service Charge Amount:	\$684.86
* Estimated Tax(es):	\$0.00
TOTAL ANNUAL SERVICE CHARGE:	\$684.86

* Tax value shown is estimated and may differ from the actual tax value that will be on the invoice.

COMMERCIAL SALES PROPOSAL/AGREEMENT

Date: 2/11/2021



Johnson Controls Security Solutions, LLC

Address:
2010 Swift Drive
Oak Brook IL 60523

Attn: George Hamilton
george.hamilton@jci.com
Telephone: 847-613-6168
(Herein called "Johnson Controls")

To: **Banbury Fair Inc**

**211 Railroad Ave
Bartlett, IL 60103**

Attn:
(Herein called the "Customer")

Tel. No. :

Johnson Controls proposes to install or cause to be installed the equipment and furnish the services (collectively the "system") indicated herein:

QTY.	DESCRIPTION
	TO BE INSTALLED:
1	Municipal Fire Alarm Radio Communicator Kit
1	12V Back-up Battery
1	Transformer Kit
1	Built-in 2.5db Antenna
	Includes equipment, labor, programming and Municipal Connection.
	Customer shall provide an 110VAC dedicated power circuit to Fire Alarm Panel Location.
	Customer shall provide reverse polarity or dry contact outputs at FACP location.
	Pricing is predicated on the utilization of a standard 2.5db antenna.
	Direct connection to Bartlett Fire Department Via DUCOMM Dispatch
	Maintenance provided on radio equipment only.
	Bill To:
	Any monthly monitoring rate increases shall be set forth by the local Authority Having Jurisdiction.

TYPE of Transaction

Direct Sale (equipment to become property of the Customer upon payment in full of Installation Charge shown below).

OR

System to remain property of Johnson Controls.

Johnson Controls may remove or upon written notice to the Customer, abandon in whole or in part, all devices, instruments, appliances, cabinets, and other materials associated with the system, upon termination of this agreement, without obligation to repair or redecorate any portion of the Customer's premises upon such removal and the removal or abandonment of such materials shall not be held to constitute a waiver of the right of Johnson Controls to collect any charges which have been accrued or may be accrued hereunder.

Services To Be Provided P-Provided
NP-Not Provided
(Check one)

Central Station Signal - Receiving and Notification	<input type="checkbox"/> P	<input checked="" type="checkbox"/> NP
<input checked="" type="checkbox"/> Fire Alarm	<input type="checkbox"/> Holdup Alarm	
<input type="checkbox"/> Burglar Alarm	<input type="checkbox"/> Duress	
<input type="checkbox"/> Supervisory	<input type="checkbox"/> Other	

Using:
 Digital Communicator*
 Leased Line Telephone Charge:
 Included Not Included
*Telephone Jack Charges Not Included

Inspections Number per year P NP

Investigator Response P NP
 Interior Exterior

Supervised/Scheduled Opening/Closing P NP

Opening/Closing Logging P NP

Opening/Closing Reports P NP

Other Direct Connection P NP

Maintenance P NP

If Maintenance Service Is declined, Customer, please Initial here

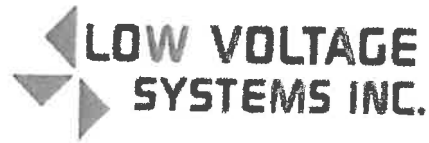
For the sum of \$ 1,499.00 payable 0 upon acceptance of this proposal and the balance payable upon completion of the installation ("Installation Charge") and as a precondition to activation of the system and, if applicable, connection to central station service. In addition for the service(s) to be provided as indicated above, Customer agrees to pay \$ 612.00 per annum, Billed Quarterly in advance for a period of five years effective from the date service is operative under this Agreement. Johnson Controls may invoice Customer for progress billings based upon equipment and/or system components delivered or stored and/or services performed before completion of the system/equipment installation, activation of the system, connection to Johnson Controls' Central Station, or any other service(s). After the five years, this Agreement shall be automatically renewed yearly unless terminated by either party upon written notice at least 30 days prior to the anniversary date. Johnson Controls shall have the right to increase the annual service charge after 1 year. In the event of termination prior to the end of the contract term, the Customer agrees to pay, in addition to any charges for services rendered prior to termination, 90% of the service charge remaining to be paid for the unexpired term of the Agreement as liquidated damages (but not as a penalty). The Customer agrees to pay, in addition to the service charges above, any false alarm assessments, taxes, fees or charges that are imposed by any government body, relating to the installation or service provided under this Agreement and to pay any increase in charges to Johnson Controls for

Customer Acceptance

In accepting Johnson Controls' Proposal, Customer agrees to the terms and conditions contained herein. It is understood that they shall prevail over any variation in terms and conditions on any purchase order or other document that the Customer may issue. Any changes in the system requested by the Customer after the execution of this Agreement shall be paid for by the Customer and such changes shall be authorized in writing.

Customer warrants that the Customer: (1) has requested the equipment/service specified in this Agreement for its own use and not for the benefit of any third party, (2) owns the premises in which the equipment is being installed or that the person signing on behalf of Customer has the authority to engage Johnson Controls to carry out the installation in the premises and (3) will comply with all laws, codes.

870 Eastwind Drive
New Lenox, IL 60451



Phone (815) 463-0700
Fax (815) 463-0600

February 14, 2021

*LE Ptit Restaurant Bar
211 West Railroad Ave
Bartlett, IL*

Dear Bruce

Low Voltage System Inc. is pleased to present this proposal to you. Detailed herein are the qualifications, which were generated during our review of your needs. We will supply labor to install the Following

- 1) 200'3/4 Red Conduit*
- 2) 24 1900 Boxes/Covers*
- 3) Hardware*

Installed price \$3,200.00

This proposal and the applicable pricing are valid for the period of 90 days from the date of issue indicated above.

Thank you for this opportunity to pursue work with your organization. If I can be of any assistance during your review, please feel to contact me.815-405-8384

MANU 10:45 am wed 12/24/20

Woodland Windows_Doors Roselle

Address: 25 West 355 Lake St

ROSELLE, IL 60172

Phone: 6305297445

Fax: 6305297475



Quote

Page 1 of 3

Quote Number: 106

Date: 12/22/2020

Sales Person: Matthew Mariotti

Customer Information

Name: D'LIVIOUS CEPES TAPAS LOUNGE

Address:

Phone 1:

Phone 2:

Fax:

Contact:

Job Name:

Specifications

U.D. = 37-1/2" x 81"; R.O. = 38-1/4" x 81-3/8"

O.M. of Exterior Trim = 40-1/2" x 82-1/2"

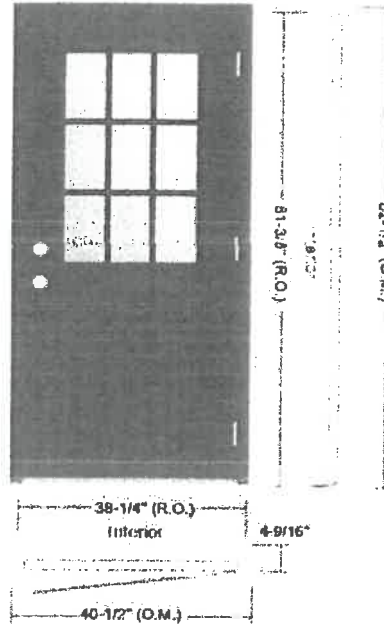


Image is viewed from Exterior!

Lead Time: Call for Lead Time

Comment: 106.

Item Description	Qty
3' 0" x 6' 8" S262-SDLLE Smooth-Star Fiberglass Door w/Simulated Divided Lite Low E Glass - Left Hand Outswing (Ogee 1-1/8" SDL)	1
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Faceplate Lockset Latch Prep w/Standard Strike Prep w/Deadbolt 9220 Schlage 1-1/8" x 2-3/4" Strike Prep	1
Set of Brushed Nickel NRP Hinges	1
White Stipple Dura-Tech Frame - 4-9/16" Jamb w/Dura-Tech White Brickmould Exterior Trim (Applied) w/(1)Brushed Nickel Adjustable Strike Plate (for Lockset only)	1
Bronze Compression Weatherstrip	1
Tru-Defense Composite w/Dark Cap - Mill Finish Sill	1
PREFINISH: Paint Door Panel Interior & Exterior 110 ONYX (BLACK) ; Paint Frame Interior and Exterior (and Exterior Trim) 110 ONYX (BLACK)	1
Energy Star Label	1
Tru-Loc Door Anchors - Installed	1
Item Total	\$1,141.22

Distributed by:



Version #: 1.16-O
Version Date: 10/7/2020

Woodland Windows_Doors Roselle

Address: 25 West 355 Lake St

ROSELLE, IL 60172

Phone: 6305297445

Fax: 6305297475



Quote

Quote Number: 106

Date: 12/22/2020

Sales Person: Matthew Mariotti

Customer Information

Name: D'LIVIOUS CEPES TAPAS LOUNGE

Address:

Phone 1:

Phone 2:

Fax:

Contact:

Job Name:

Specifications

U.D. = 37-1/2" x 81"; R.O. = 38-1/4" x 81-3/8"

O.M. of Exterior Trim = 40-1/2" x 82-1/2"

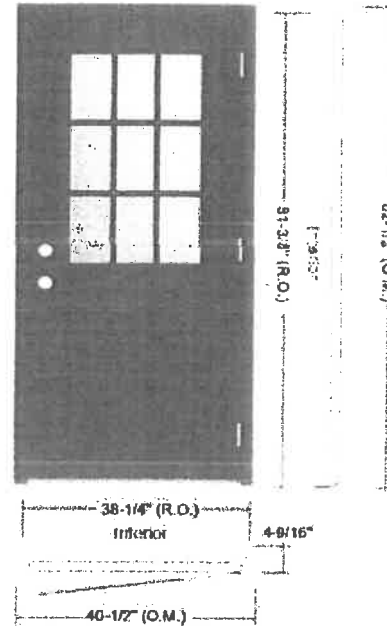


Image is viewed from Exterior!

Lead Time: Call for Lead Time

Comment: 111.

Item Description	Qty
3' 0" x 6' 8" S262-SDLLE Smooth-Star Fiberglass Door w/Simulated Divided Lite Low E Glass - Left Hand Outswing (Ogee 1-1/8" SDL)	1
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Faceplate Lockset Latch Prep w/Standard Strike Prep w/Deadbolt 9220 Schlage 1-1/8" x 2-3/4" Strike Prep	1
Set of Brushed Nickel NRP Hinges	1
White Stipple Dura-Tech Frame - 4-9/16" Jamb w/Dura-Tech White Brickmould Exterior Trim (Applied) w/(1)Brushed Nickel Adjustable Strike Plate (for Lockset only)	1
Bronze Compression Weatherstrip	1
Tru-Defense Composite w/Dark Cap - Mill Finish Sill	1
PREFINISH: Paint Door Panel Interior & Exterior 110 ONYX (BLACK) ; Paint Frame Interior and Exterior (and Exterior Trim) 110 ONYX (BLACK)	1
Energy Star Label	1
Tru-Loc Door Anchors - Installed	1
Item Total	\$1,141.22

Distributed by:



Version #: 1.16-O
Version Date: 10/7/2020

Woodland Windows_Doors Roselle

Address: 25 West 355 Lake St

ROSELLE, IL 60172

Phone: 6305297445

Fax: 6305297475



Quote

Page 3 of 3

Quote Number: 106

Date: 12/22/2020

Sales Person: Matthew Mariotti

Customer Information

Name: D'LIVIOUS CEPES TAPAS LOUNGE

Address:

Phone 1:

Phone 2:

Fax:

Contact:

Job Name:

Specifications

U.D. = 35-1/2" x 81"; R.O. = 36-1/4" x 81-3/8"

O.M. of Exterior Trim = 38-1/2" x 82-1/2"

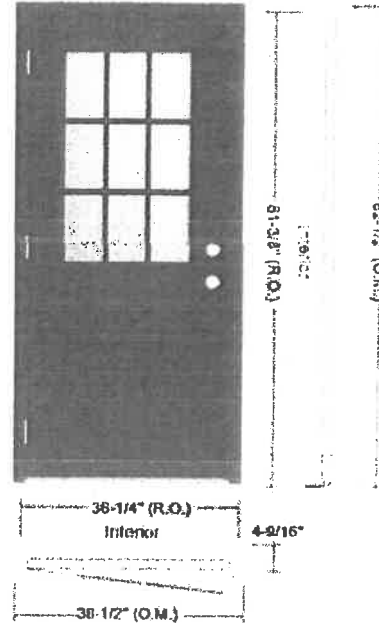


Image is viewed from Exterior!

Lead Time: Call for Lead Time

Comment: 112.

Item Description	Qty
2' 10" x 6' 8" S262-SDLLE Smooth-Star Fiberglass Door w/Simulated Divided Lite Low E Glass - Right Hand Outswing (Ogee 1-1/8" SDL)	1
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Faceplate Lockset Latch Prep w/Standard Strike Prep w/Deadbolt 9220 Schlage 1-1/8" x 2-3/4" Strike Prep	1
Set of Brushed Nickel NRP Hinges	1
White Stipple Dura-Tech Frame - 4-9/16" Jamb w/Dura-Tech White Brickmould Exterior Trim (Applied)	1
w/(1)Brushed Nickel Adjustable Strike Plate (for Lockset only)	
Bronze Compression Weatherstrip	1
Tru-Defense Composite w/Dark Cap - Mill Finish Sill	1
PREFINISH: Paint Door Panel Interior & Exterior 110 ONYX (BLACK) ; Paint Frame Interior and Exterior (and Exterior Trim) 110 ONYX (BLACK)	1
Energy Star Label	1
Tru-Loc Door Anchors - Installed	1
Item Total	\$1,141.22

Order Sub Total: \$3,423.66

Tax: \$239.66

Order Total: \$3,663.32

Distributed by:

PALMER DONAVIN

Version #: 1.16-O

Version Date: 10/7/2020

UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 9		TOTAL UNIT QTY: 9		EXT NET PRICE: USD		7,229.93
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	101	Elevate	Casement Picture RO 62" X 29 1/2" Entered as FS 61" X 29"	778.10	1	778.10
2	102	Elevate	Casement Picture RO 57 1/2" X 35 1/2" Entered as FS 56 1/2" X 35"	787.51	1	787.51
3	103	Elevate	Casement Picture RO 57 1/2" X 35 1/2" Entered as FS 56 1/2" X 35"	787.51	1	787.51
4	104	Elevate	Casement Picture RO 57 1/2" X 35 1/2" Entered as FS 56 1/2" X 35"	787.51	1	787.51
5	105	Elevate	Casement Picture RO 27" X 31 1/2" Entered as FS 26" X 31"	423.85	1	423.85
6	107	Elevate	Casement Picture RO 27" X 31 1/2" Entered as FS 26" X 31"	423.85	1	423.85
8	108	Elevate	Elevate Assembly RO 82" X 34 1/2" Entered as FS 81" X 34"	1,192.56	1	1,192.56
10	110	Elevate	Elevate Assembly RO 73" X 34 1/2" Entered as FS 72" X 34"	1,195.06	1	1,195.06
11	111	Elevate	Elevate Assembly RO 56" X 34 1/2" Entered as FS 55" X 34"	853.98	1	853.98

6,034.87

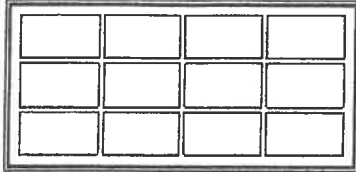
*Options to
Save 10-12%*

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details; please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: 101	Net Price:		778.10
Qty: 1		Ext. Net Price:	USD	778.10

MARVIN



As Viewed From The Exterior

Entered As: FS
 MO 61 1/2" X 29 1/4"
 FS 61" X 29"
 RO 62" X 29 1/2"
Egress Information
 No Egress Information available.
Performance Information
 U-Factor: 0.26
 Solar Heat Gain Coefficient: 0.31
 Visible Light Transmittance: 0.52
 Condensation Resistance: 58
 CPD Number: MAR-N-252-01136-00001
 ENERGY STAR: N, NC
Performance Grade
 Licensee #900
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 1829X1502 mm (73X59.7 in)
 LC-PG50 DP +50/-50
 FL9690

Stone White Exterior
 Bare Pine Interior
 Elevate Casement Picture
 Frame Size 61" X 29"
 Rough Opening 62" X 29 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 4W3H
 Stone White Ext - Bare Int
 4 9/16" Jamb

Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

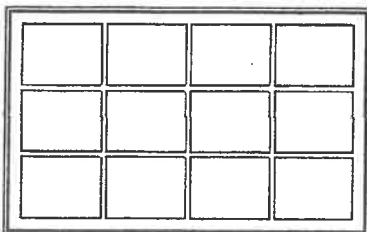
Initials required

Seller: _____

Buyer: _____

Line #2	Mark Unit: 102	Net Price:		787.51
Qty: 1		Ext. Net Price:	USD	787.51

MARVIN



As Viewed From The Exterior

Entered As: FS
 MO 57" X 35 1/4"
 FS 56 1/2" X 35"
 RO 57 1/2" X 35 1/2"
Egress Information
 No Egress Information available.
Performance Information
 U-Factor: 0.26
 Solar Heat Gain Coefficient: 0.31
 Visible Light Transmittance: 0.52
 Condensation Resistance: 58

Stone White Exterior
 Bare Pine Interior
 Elevate Casement Picture
 Frame Size 56 1/2" X 35"
 Rough Opening 57 1/2" X 35 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 4W3H
 Stone White Ext - Bare Int

4 9/16" Jamb
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

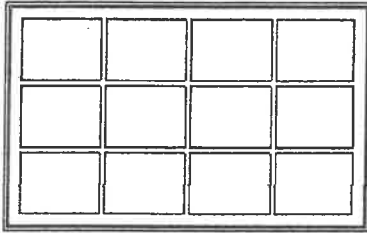
Seller: _____

Buyer: _____

CPD Number: MAR-N-252-01136-00001
 ENERGY STAR: N, NC
Performance Grade
 Licensee #900
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 1422X1807 mm (57X71.7 in)
 LC-PG50 DP +50/-50
 FL9690

Line #3	Mark Unit: 103	Net Price:		787.51
Qty: 1		Ext. Net Price:	USD	787.51

MARVIN



As Viewed From The Exterior

Entered As: FS
 MO 57" X 35 1/4"
 FS 56 1/2" X 35"
 RO 57 1/2" X 35 1/2"
Egress Information
 No Egress Information available.
Performance Information
 U-Factor: 0.26
 Solar Heat Gain Coefficient: 0.31
 Visible Light Transmittance: 0.52
 Condensation Resistance: 58
 CPD Number: MAR-N-252-01136-00001
 ENERGY STAR: N, NC
Performance Grade
 Licensee #900
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 1422X1807 mm (57X71.7 in)
 LC-PG50 DP +50/-50
 FL9690

Stone White Exterior
 Bare Pine Interior
 Elevate Casement Picture
 Frame Size 56 1/2" X 35"
 Rough Opening 57 1/2" X 35 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 4W3H
 Stone White Ext - Bare Int

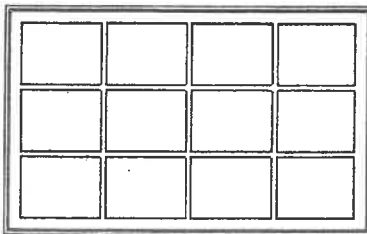
4 9/16" Jamb
 Nailing Fin

***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Initials required
 Seller: _____
 Buyer: _____

Line #4	Mark Unit: 104	Net Price:		787.51
Qty: 1		Ext. Net Price:	USD	787.51

MARVIN



As Viewed From The Exterior

Entered As: FS
 MO 57" X 35 1/4"
 FS 56 1/2" X 35"
 RO 57 1/2" X 35 1/2"
Egress Information
 No Egress Information available.

Stone White Exterior
 Bare Pine Interior
 Elevate Casement Picture
 Frame Size 56 1/2" X 35"
 Rough Opening 57 1/2" X 35 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 4W3H
 Stone White Ext - Bare Int

4 9/16" Jamb
 Nailing Fin

***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Initials required
 Page 4 of 11

Performance Information

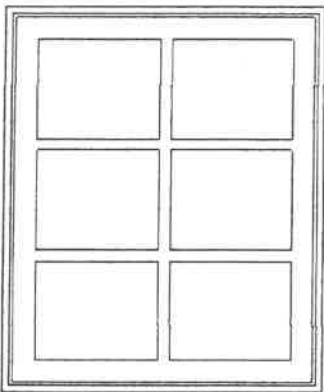
U-Factor: 0.26
 Solar Heat Gain Coefficient: 0.31
 Visible Light Transmittance: 0.52
 Condensation Resistance: 58
 CPD Number: MAR-N-252-01136-00001
 ENERGY STAR: N, NC
Performance Grade
 Licensee #900
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 1422X1807 mm (57X71.7 in)
 LC-PG50 DP +50/-50
 FL9690

Seller: _____

Buyer: _____

Line #5	Mark Unit: 105	Net Price:	423.85
Qty: 1		Ext. Net Price:	423.85
		USD	

MARVIN



As Viewed From The Exterior

Stone White Exterior
 Bare Pine Interior
 Elevate Casement Picture
 Frame Size 26" X 31"
 Rough Opening 27" X 31 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 2W3H
 Stone White Ext - Bare Int

4 9/16" Jamb

Nailing Fin

***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.

***Note: Unit Availability and Price is Subject to Change

Initials required

Entered As: FS

MO 26 1/2" X 31 1/4"

FS 26" X 31"

RO 27" X 31 1/2"

Egress Information

No Egress Information available.

Performance Information

U-Factor: 0.26
 Solar Heat Gain Coefficient: 0.31
 Visible Light Transmittance: 0.52
 Condensation Resistance: 58
 CPD Number: MAR-N-252-01136-00001
 ENERGY STAR: N, NC
Performance Grade
 Licensee #900
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 1422X1807 mm (57X71.7 in)
 LC-PG50 DP +50/-50
 FL9690

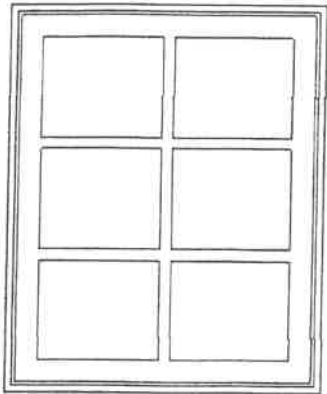
Seller: _____

Buyer: _____

Line #6	Mark Unit: 107	Net Price:	423.85
Qty: 1		Ext. Net Price:	423.85
		USD	

MARVIN

Stone White Exterior
 Bare Pine Interior
 Elevate Casement Picture
 Frame Size 26" X 31"
 Rough Opening 27" X 31 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG



As Viewed From The Exterior

Entered As: FS
MO 26 1/2" X 31 1/4"
FS 26" X 31"
RO 27" X 31 1/2"
Egress Information
 No Egress Information available.
Performance Information
 U-Factor: 0.26
 Solar Heat Gain Coefficient: 0.31
 Visible Light Transmittance: 0.52
 Condensation Resistance: 58
 CPD Number: MAR-N-252-01136-00001
 ENERGY STAR: N, NC
Performance Grade
 Licensee #900
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 1422X1807 mm (57X71.7 in)
 LC-PG50 DP +50/-50
 FL9690

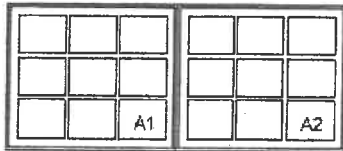
Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 2W3H
 Stone White Ext - Bare Int
 4 9/16" Jambs
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the
 OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Line #8	Mark Unit: 108	Net Price:		1,192.56
Qty: 1		Ext. Net Price:	USD	1,192.56



As Viewed From The Exterior

Entered As: FS
MO 81 1/2" X 34 1/4"
FS 81" X 34"
RO 82" X 34 1/2"
Egress Information A1, A2
 No Egress Information available.
Performance Information A1, A2
 U-Factor: 0.26
 Solar Heat Gain Coefficient: 0.31
 Visible Light Transmittance: 0.52
 Condensation Resistance: 58
 CPD Number: MAR-N-252-01136-00001
 ENERGY STAR: N, NC
Performance Grade A1, A2
 Licensee #900
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 1422X1807 mm (57X71.7 in)
 LC-PG50 DP +50/-50
 FL9690

Stone White Exterior
 Bare Pine Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size
 81" X 34"
 Assembly Rough Opening
 82" X 34 1/2"
 Unit: A1
 Elevate Casement Picture
 Basic Frame 40 1/2" X 34"
 Rough Opening 41 1/2" X 34 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 3W3H
 Stone White Ext - Bare Int

Unit: A2
 Elevate Casement Picture
 Basic Frame 40 1/2" X 34"
 Rough Opening 41 1/2" X 34 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 3W3H
 Stone White Ext - Bare Int

4 9/16" Jambs
 Nailing Fin

***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

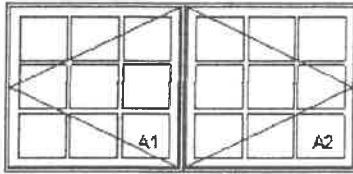
Initials required

Seller: _____

Buyer: _____

Line #10	Mark Unit: 110	Net Price:		1,195.06
Qty: 1		Ext. Net Price:	USD	1,195.06

MARVIN



Entered As: FS
 MO 72 1/2" X 34 1/4"
 FS 72" X 34"
 RO 73" X 34 1/2"
Egress Information A1, A2
 Width: 27 15/64" Height: 29 19/32"
 Net Clear Opening: 5.60 SqFt
Performance Information A1, A2
 U-Factor: 0.27
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.46
 Condensation Resistance: 59
 CPD Number: MAR-N-250-00770-00001
 ENERGY STAR: N, NC
Performance Grade A1, A2
 Licensee #898
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 914X994 mm (37X39.5 in)
 LC-PG50 DP +50/-50
 FL9684

Stone White Exterior
 Bare Pine Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size
 72" X 34"
 Assembly Rough Opening
 73" X 34 1/2"

Unit: A1
 Elevate Casement - Left Hand
 Basic Frame 36" X 34"
 Standard CN Width 37
 Rough Opening 37" X 34 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 3W3H
 Stone White Ext - Bare Int
 White Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 White Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Elevate Casement - Right Hand
 Basic Frame 36" X 34"
 Standard CN Width 37
 Rough Opening 37" X 34 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 3W3H
 Stone White Ext - Bare Int
 White Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 White Surround
 ***Screen/Combo Ship Loose

4 9/16" Jambs
 Nailing Fin
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

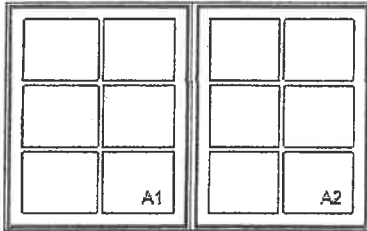
Seller: _____

Buyer: _____

109
~~1020~~

Line #11	Mark Unit: 111	Net Price:	853.98
Qty: 1		Ext. Net Price:	USD 853.98

MARVIN



As Viewed From The Exterior

Entered As: FS
MO 55 1/2" X 34 1/4"
FS 55" X 34"
RO 56" X 34 1/2"
Egress Information A1, A2
 No Egress Information available.
Performance Information A1, A2
 U-Factor: 0.26
 Solar Heat Gain Coefficient: 0.31
 Visible Light Transmittance: 0.52
 Condensation Resistance: 58
 CPD Number: MAR-N-252-01136-00001
 ENERGY STAR: N, NC
Performance Grade A1, A2
 Licensee #900
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 LC-PG50 1422X1807 mm (57X71.7 in)
 LC-PG50 DP +50/-50
 FL9690

Stone White Exterior
 Bare Pine Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size
 55" X 34"
 Assembly Rough Opening
 56" X 34 1/2"

Unit: A1
 Elevate Casement Picture
 Basic Frame 27 1/2" X 34"
 Rough Opening 28 1/2" X 34 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 2W3H
 Stone White Ext - Bare Int

Unit: A2
 Elevate Casement Picture
 Basic Frame 27 1/2" X 34"
 Rough Opening 28 1/2" X 34 1/2"
 Stone White Exterior
 Bare Pine Interior
 IG
 Low E2 w/Argon
 Stainless Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Stainless
 Rectangular - Special Cut 2W3H
 Stone White Ext - Bare Int

4 9/16" Jambs
 Nailing Fin

***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Project Subtotal Net Price: USD 7,229.93
 7.000% Sales Tax: USD 506.10
 Project Total Net Price: USD 7,736.03

6034.87
 422.44
 6457.31

WORK ORDER

INVOICE

Two Touch Home Improvement
Mobile 941-875-2122
Office 830-618-4402

Home Improvement Restoration & Remodeling

9-1-2011

Sunny Chopra
211 W. Railroad Ave
Bartlett IL

- General
- Bath
- Kitchen
- Windows
- Drywall
- Other

TOTAL MATERIALS

LEP'TIT RESTORATION TAPES

Removal of 9 Existing windows and Installation of 4 new windows in its place. Foam installation, JP trim for around outside of windows, drip cap, interior-exterior jams and 1x4 Stained trim for around windows and setting all sills.

Removal of old Patio door and install new Patio door JP trim for exterior and 1x4 Stained trim for interior. Foam installation.

Removal of 2 entry doors and install 2 new entry doors. New hardware and closer. Owner supplies hardware for doors. JP trim exterior 1x4 Stained trim interior. Foam installation.

All material included except sill and hardware.

RECOMMENDATIONS

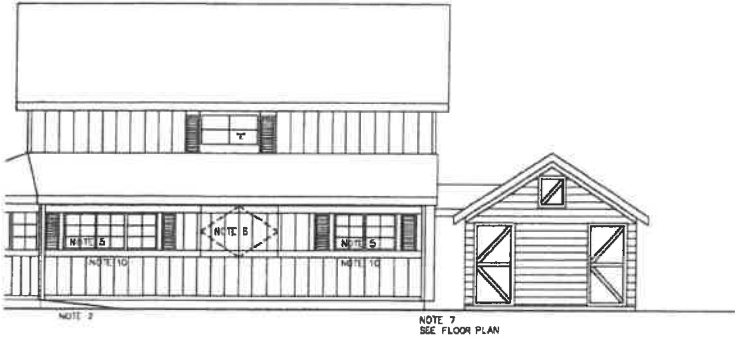
X *[Signature]*

I HEREBY AUTHORIZE THE ABOVE WORK TO BE DONE AS SOLELY DESCRIBED AND QUOTED ABOVE. IT IS AGREED THAT THE SELLER WILL BE LIABLE FOR ANY EQUIPMENT OR MATERIAL FURNISHED UNDER CONTRACT IF PAYMENT HAS BEEN MADE. IF SETTLEMENT IS NOT MADE AS AGREED, THE SELLER HAS THE RIGHT TO REMOVE EQUIPMENT AND MATERIAL WITHOUT BEING HELD RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE REMOVAL OF EQUIPMENT.

X
I HAVE READ THIS WORK ORDER WITH COMMENTS AND I APPROVE THE SCOPE OF WORK.

Total	5200.00
Deposit	1200.00
TOTAL	4000.00

Thank You



NORTH ELEVATION

=1'-0"



EAST ELEVATION

SCALE: 1/4"=1'-0"



SOUTH ELEVATION

=1'-0"



WEST ELEVATION

SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- NOTE 1
NOT USED
- NOTE 2
NEW RAMP AND RAILINGS
- NOTE 3
REMOVE EXISTING SLIDING DOOR AND INFILL WALL AS REQUIRED AND INSTALL NEW INSULATED EXT DOOR
- NOTE 4
REMOVE EXISTING DOOR AND INSTALL NEW INSULATED EXT DOOR
- NOTE 5
NEW WINDOW IN EXISTING OPENING
- NOTE 6
REBUILD OR REPLACE EXISTING WINDOW / BARN DOOR
- NOTE 7
NEW WOOD DECK / PLATFORM AND STEPS [ACCESSIBLE EXT]
- NOTE 8
NOTE USED
- NOTE 9
NOTE USED
- NOTE 10
NEW OR REPLACE WOOD SHUTTERS

Woodland Windows_Doors Roselle

Address: 25 West 355 Lake St

ROSELLE, IL 60172

Phone: 6305297445

Fax: 6305297475



Quote

Page 1 of 3

Quote Number: 106

Date: 12/22/2020

Sales Person: Matthew Mariotti

Customer Information

Name: LE P'TIT RESTO BAR TAPAS

Address:

Phone 1:

Phone 2:

Fax:

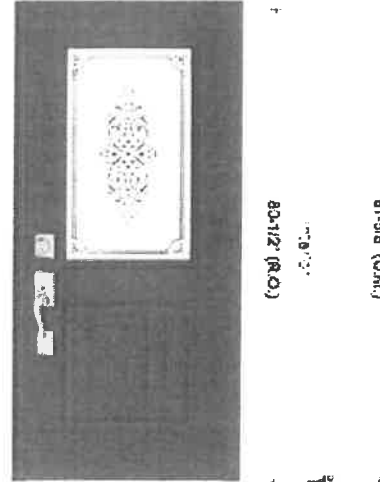
Contact:

Job Name:

Specifications

U.D. = 35-1/2" x 80-1/8"; R.O. = 36-1/4" x 80-1/2"

O.M. of Exterior Trim = 38-1/2" x 81-5/8"



36-1/4" (R.O.)
Interior 4-9/16"

38-1/2" (O.M.)

Image is viewed from Exterior!

Lead Time: Call for Lead Time

Comment: 106

Item Description	Qty
2' 10" x 6' 8" S6043 Smooth-Star Fiberglass Door w/Frosted Images Glass - Left Hand Outswing **PREPPED for Closer Reinforcement	1
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Faceplate Lockset Latch Prep w/Standard Strike Prep w/Deadbolt 9220 Schlage 1-1/8" x 2-3/4" Strike Prep	1
Set of Black Nickel NRP Hinges	1
White Stipple Dura-Tech Frame - 4-9/16" Jamb w/Dura-Tech White Brickmould Exterior Trim (Loose) w/(1)Black Nickel Adjustable Strike Plate (for Lockset only)	1
Bronze Compression Weatherstrip	1
Public Access - Bronze Sill	1
Custom Cut 11/16" from Height (Limitations may exist)	1
PREFINISH: Paint Door Panel Interior & Exterior 110 ONYX (BLACK) ; Paint Frame Interior and Exterior (and Exterior Trim) 110 ONYX (BLACK)	1
Schlage - F Series Addison Handleset and Accent Interior Trim w/Satin Nickel (619) Finish ***KEYED ALIKE***	1
Energy Star Label	1
Tru-Loc Door Anchors - Installed	1
Item Total	\$1,945.45

Distributed by:



Version #: 1.18-O
Version Date: 3/16/2021

Woodland Windows_Doors Roselle

Address: 25 West 355 Lake St

ROSELLE, IL 60172

Phone: 6305297445

Fax: 6305297475



Quote

Page 2 of 3

Quote Number: 106

Date: 12/22/2020

Sales Person: Matthew Mariotti

Customer Information

Name: LE P'TIT RESTO BAR TAPAS

Address:

Phone 1:

Phone 2:

Fax:

Contact:

Job Name:

Specifications

U.D. = 35-1/2" x 79-5/8"; R.O. = 36-1/4" x 80"

O.M. of Exterior Trim = 38-1/2" x 81-1/8"

Lead Time: Call for Lead Time

Comment: 112

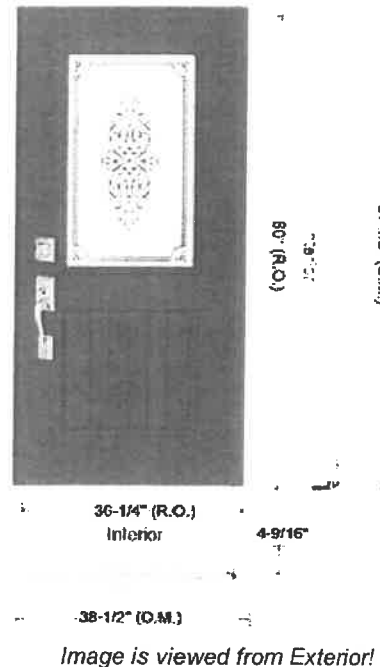


Image is viewed from Exterior!

Item Description	Qty
2' 10" x 6' 8" S6043 Smooth-Star Fiberglass Door w/Frosted Images Glass - Left Hand Outswing ***PREPPED for Closer Reinforcement	1
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Faceplate Lockset Latch Prep w/Standard Strike Prep w/Deadbolt 9220 Schlage 1-1/8" x 2-3/4" Strike Prep	1
Set of Black Nickel NRP Hinges	1
White Stipple Dura-Tech Frame - 4-9/16" Jamb w/Dura-Tech White Brickmould Exterior Trim (Loose) w/(1)Black Nickel Adjustable Strike Plate (for Lockset only)	1
Bronze Compression Weatherstrip	1
Public Access - Bronze Sill	1
Custom Cut 1-3/16" from Height (Limitations may exist)	1
PREFINISH: Paint Door Panel Interior & Exterior 110 ONYX (BLACK) ; Paint Frame Interior and Exterior (and Exterior Trim) 110 ONYX (BLACK)	1
Schlage - F Series Addison Handleset and Accent Interior Trim w/Satin Nickel (619) Finish ***KEYED ALIKE***	1
Energy Star Label	1
Tru-Loc Door Anchors - Installed	1
Item Total	\$1,945.45

Distributed by:



Version #: 1.18-O
Version Date: 3/16/2021

Woodland Windows_Doors Roselle

Address: 25 West 355 Lake St

ROSELLE, IL 60172

Phone: 6305297445

Fax: 6305297475



Quote

Page 3 of 3

Quote Number: 106

Date: 12/22/2020

Sales Person: Matthew Mariotti

Customer Information

Name: LE P'TIT RESTO BAR TAPAS

Address:

Phone 1:

Phone 2:

Fax:

Contact:

Job Name:

Specifications

Item Description	Qty
2% CASH/CHECK DISCOUNT	1
Item Total	\$80.00

Order Sub Total: \$3,970.90

Tax: \$277.96

Order Total: \$4,248.86

Version #: 1.18-O

Version Date: 3/16/2021

Distributed by:



Woodland Windows_Doors Roselle

Address: 25 West 355 Lake St

ROSELLE, IL 60172

Phone: 6305297445

Fax: 6305297475

**Quote**

Page 1 of 3

Quote Number: 106

Date: 12/22/2020

Sales Person: Matthew Mariotti

Customer Information

Name: D'LIVIOUS CEPES TAPAS LOUNGE

Address:

Phone 1:

Phone 2:

Fax:

Contact:

Job Name:

Specifications

U.D. = 37-1/2" x 81"; R.O. = 38-1/4" x 81-3/8"

O.M. of Exterior Trim = 40-1/2" x 82-1/2"

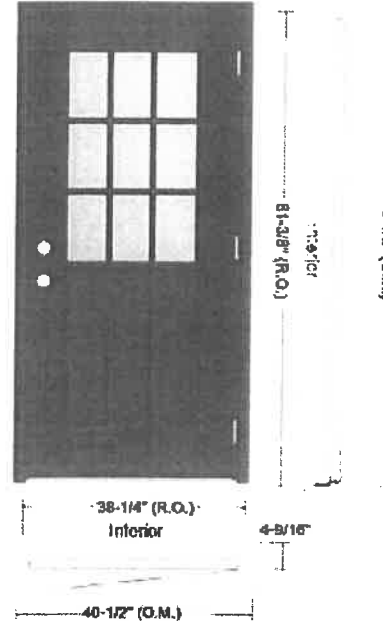


Image is viewed from Exterior!

Lead Time: Call for Lead Time

Comment: 106

Item Description	Qty
3' 0" x 6' 8" S262-SDLLE Smooth-Star Fiberglass Door w/Simulated Divided Lite Low E Glass - Left Hand Outswing (Ogee 1-1/8" SDL)	1
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Faceplate Lockset Latch Prep w/Standard Strike Prep w/Deadbolt 9220 Schlage 1-1/8" x 2-3/4" Strike Prep	1
Set of Brushed Nickel NRP Hinges	1
White Stipple Dura-Tech Frame - 4-9/16" Jamb w/Dura-Tech White Brickmould Exterior Trim (Applied) w/(1)Brushed Nickel Adjustable Strike Plate (for Lockset only)	1
Bronze Compression Weatherstrip	1
Tru-Defense Composite w/Dark Cap - Mill Finish Sill	1
PREFINISH: Paint Door Panel Interior & Exterior 110 ONYX (BLACK) ; Paint Frame Interior and Exterior (and Exterior Trim) 110 ONYX (BLACK)	1
Energy Star Label	1
Tru-Loc Door Anchors - Installed	1
Item Total	\$1,141.22

Distributed by:

PALMER DONAVIN

Version #: 1.16-O
Version Date: 10/7/2020

Woodland Windows_Doors Roselle

Address: 25 West 355 Lake St

ROSELLE, IL 60172

Phone: 6305297445

Fax: 6305297475



Quote

Page 2 of 3

Quote Number: 106

Date: 12/22/2020

Sales Person: Matthew Mariotti

Customer Information

Name: D'LIVIOUS CEPES TAPAS LOUNGE

Address:

Phone 1:

Phone 2:

Fax:

Contact:

Job Name:

Specifications

U.D. = 37-1/2" x 81"; R.O. = 38-1/4" x 81-3/8"

O.M. of Exterior Trim = 40-1/2" x 82-1/2"

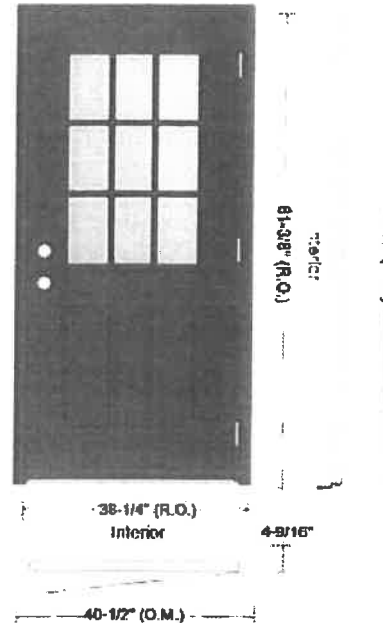


Image is viewed from Exterior!

Lead Time: Call for Lead Time

Comment: 111

Item Description	Qty
3' 0" x 6' 8" S262-SDLLE Smooth-Star Fiberglass Door w/Simulated Divided Lite Low E Glass - Left Hand Outswing (Ogee 1-1/8" SDL)	1
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Faceplate Lockset Latch Prep w/Standard Strike Prep w/Deadbolt 9220 Schlage 1-1/8" x 2-3/4" Strike Prep	1
Set of Brushed Nickel NRP Hinges	1
White Stipple Dura-Tech Frame - 4-9/16" Jamb w/Dura-Tech White Brickmould Exterior Trim (Applied) w/(1)Brushed Nickel Adjustable Strike Plate (for Lockset only)	1
Bronze Compression Weatherstrip	1
Tru-Defense Composite w/Dark Cap - Mill Finish Sill	1
PREFINISH: Paint Door Panel Interior & Exterior 110 ONYX (BLACK) ; Paint Frame Interior and Exterior (and Exterior Trim) 110 ONYX (BLACK)	1
Energy Star Label	1
Tru-Loc Door Anchors - Installed	1
Item Total	\$1,141.22

Distributed by:



Version #: 1.16-0
Version Date: 10/7/2020

Woodland Windows_Doors Roselle

Address: 25 West 355 Lake St

ROSELLE, IL 60172

Phone: 6305297445

Fax: 6305297475



Quote

Page 3 of 3

Quote Number: 106

Date: 12/22/2020

Sales Person: Matthew Mariotti

Customer Information

Name: D'LIVIOUS CEPÉS TAPAS LOUNGE

Address:

Phone 1:

Phone 2:

Fax:

Contact:

Job Name:

Specifications

U.D. = 35-1/2" x 81"; R.O. = 36-1/4" x 81-3/8"

O.M. of Exterior Trim = 38-1/2" x 82-1/2"

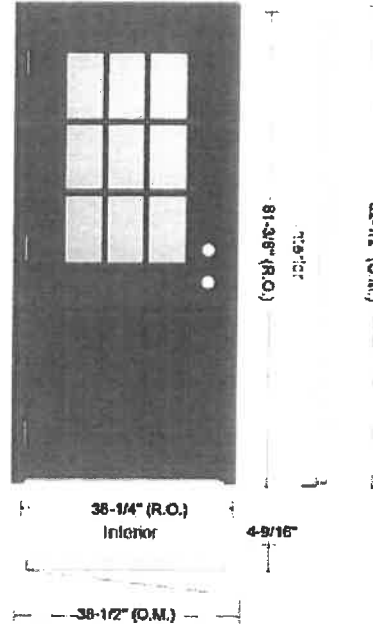


Image is viewed from Exterior!

Lead Time: Call for Lead Time

Comment: 112

Item Description	Qty
2' 10" x 6' 8" S262-SDLLE Smooth-Star Fiberglass Door w/Simulated Divided Lite Low E Glass - Right Hand Outswing (Ogee 1-1/8" SDL)	1
2-3/4" Backset - Double Bore (2-1/8" Dia. Bore w/Standard 5-1/2" Spacing) w/Faceplate Lockset Latch Prep w/Standard Strike Prep w/Deadbolt 9220 Schlage 1-1/8" x 2-3/4" Strike Prep	1
Set of Brushed Nickel NRP Hinges	1
White Stipple Dura-Tech Frame - 4-9/16" Jamb w/Dura-Tech White Brickmould Exterior Trim (Applied) w/(1)Brushed Nickel Adjustable Strike Plate (for Lockset only)	1
Bronze Compression Weatherstrip	1
Tru-Defense Composite w/Dark Cap - Mill Finish Sill	1
PREFINISH: Paint Door Panel Interior & Exterior 110 ONYX (BLACK) ; Paint Frame Interior and Exterior (and Exterior Trim) 110 ONYX (BLACK)	1
Energy Star Label	1
Tru-Loc Door Anchors - Installed	1
Item Total	\$1,141.22

Order Sub Total: \$3,423.66

Tax: \$239.66

Order Total: \$3,663.32

Distributed by:



Version #: 1.16-O

Version Date: 10/7/2020

UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

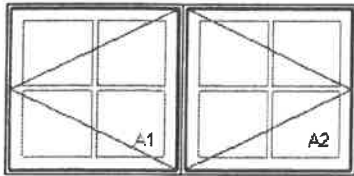
NUMBER OF LINES: 8		TOTAL UNIT QTY: 8		EXT NET PRICE: USD 10,270.80		
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
12	101	Ultimate	Marvin Assembly RO 61" X 29" Entered as RO 61" X 29"	1,375.32	1	1,375.32
13	102	Ultimate	Marvin Assembly RO 56 1/2" X 35" Entered as RO 56 1/2" X 35"	1,424.16	1	1,424.16
14	103	Ultimate	Marvin Assembly RO 56 1/2" X 35" Entered as RO 56 1/2" X 35"	1,424.16	1	1,424.16
15	104	Ultimate	Marvin Assembly RO 56 1/2" X 35" Entered as RO 56 1/2" X 35"	1,424.16	1	1,424.16
16	105	Ultimate	Casement Narrow Frame RO 26" X 31" Entered as RO 26" X 31"	625.37	1	625.37
17	107	Ultimate	Casement Narrow Frame RO 26" X 31" Entered as RO 26" X 31"	625.37	1	625.37
18	108	Ultimate	Marvin Assembly RO 81" X 34" Entered as RO 81" X 34"	1,999.44	1	1,999.44
19	109	Ultimate	Marvin Assembly RO 55" X 34" Entered as RO 55" X 34"	1,372.82	1	1,372.82

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #12	Mark Unit: 101	Net Price:	1,375.32
Qty: 1		Ext. Net Price:	USD 1,375.32

MARVIN



As Viewed From The Exterior

Entered As: RO
MO 60 1/2" X 28 3/4"
FS 60" X 28 1/2"
RO 61" X 29"
Egress Information A1, A2
 Width: 22 57/64" Height: 23 25/64"
 Net Clear Opening: 3.72 SqFt
Performance Information A1, A2
 U-Factor: 0.3
 Solar Heat Gain Coefficient: 0.26
 Visible Light Transmittance: 0.44
 Condensation Resistance: 58
 CPD Number: MAR-N-337-01660-00001
 ENERGY STAR: NC
Performance Grade A1, A2
 Licensee #918
 AAMA/WDMA/CSA/101/1.S.2/A440-11
 CW-PG50 914X2442 mm (36X96.13 in)
 CW-PG50 DP +50/-50
 FL10321

Ebony Clad Exterior
 Painted Interior Finish - Designer Black - Pine Interior
 2W1H - Rectangle Assembly
 Assembly Rough Opening
 61" X 29"

Unit: A1
 Ultimate Casement Narrow Frame - Left Hand
 Basic Frame 30" X 28 1/2"
 Standard CN Width 30
 Rough Opening 31" X 29"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 Square 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Square Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

Unit: A2
 Ultimate Casement Narrow Frame - Right Hand
 Basic Frame 30" X 28 1/2"
 Standard CN Width 30
 Rough Opening 31" X 29"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 Square 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Square Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

Standard Mull Charge
 2 3/16" Jamb
Jamb Depth has been changed to 2 3/16". Apply Jamb Extension now if needed.
 Nailing Fin
 ***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for

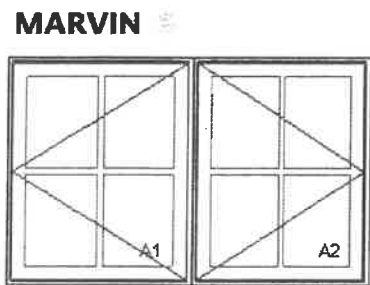
additional information.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Line #13	Mark Unit: 102	Net Price:	1,424.16
Qty: 1		Ext. Net Price:	1,424.16
		USD	



As Viewed From The Exterior

Entered As: RO
MO 56" X 34 3/4"
FS 55 1/2" X 34 1/2"
RO 56 1/2" X 35"
Egress Information A1, A2
 Width: 20 41/64" Height: 29 25/64"
 Net Clear Opening: 4.21 SqFt
Performance Information A1, A2
 U-Factor: 0.3
 Solar Heat Gain Coefficient: 0.26
 Visible Light Transmittance: 0.44
 Condensation Resistance: 58
 CPD Number: MAR-N-337-01660-00001
 ENERGY STAR: NC
Performance Grade A1, A2
 Licensee #918
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 CW-PG50 914X2442 mm (36X96.13 in)
 CW-PG50 DP +50/-50
 FL10321

Ebony Clad Exterior
 Painted Interior Finish - Designer Black - Pine Interior
 2W1H - Rectangle Assembly
 Assembly Rough Opening
 56 1/2" X 35"

Unit: A1

Ultimate Casement Narrow Frame - Left Hand
 Basic Frame 27 3/4" X 34 1/2"
 Rough Opening 28 3/4" X 35"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 Square 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Square Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

Unit: A2

Ultimate Casement Narrow Frame - Right Hand
 Basic Frame 27 3/4" X 34 1/2"
 Rough Opening 28 3/4" X 35"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 Square 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Square Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

Standard Mull Charge
 2 3/16" Jambs
Jamb Depth has been changed to 2 3/16". Apply Jamb Extension now if needed.
 Nailing Fin

***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual

unit certification ratings. Reference the mulling chapter of the ADM for additional information.

***Note: Unit Availability and Price is Subject to Change

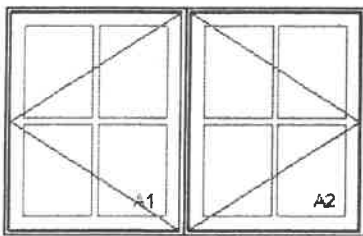
Initials required

Seller: _____

Buyer: _____

Line #14	Mark Unit: 103	Net Price:	1,424.16
Qty: 1		Ext. Net Price:	1,424.16
		USD	

MARVIN



As Viewed From The Exterior

Entered As: RO
MO 56" X 34 3/4"
FS 55 1/2" X 34 1/2"
RO 56 1/2" X 35"
Egress Information A1, A2
 Width: 20 41/64" Height: 29 25/64"
 Net Clear Opening: 4.21 SqFt
Performance Information A1, A2
 U-Factor: 0.3
 Solar Heat Gain Coefficient: 0.26
 Visible Light Transmittance: 0.44
 Condensation Resistance: 58
 CPD Number: MAR-N-337-01660-00001
 ENERGY STAR: NC
Performance Grade A1, A2
 Licensee #918
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 CW-PG50 914X2442 mm (36X96.13 in)
 CW-PG50 DP +50/-50
 FL10321

Ebony Clad Exterior
 Painted Interior Finish - Designer Black - Pine Interior
 2W1H - Rectangle Assembly
 Assembly Rough Opening
 56 1/2" X 35"

Unit: A1

Ultimate Casement Narrow Frame - Left Hand
 Basic Frame 27 3/4" X 34 1/2"
 Rough Opening 28 3/4" X 35"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 Square 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Square Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

Unit: A2

Ultimate Casement Narrow Frame - Right Hand
 Basic Frame 27 3/4" X 34 1/2"
 Rough Opening 28 3/4" X 35"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 Square 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Square Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

Standard Mull Charge
 2 3/16" Jamb

Jamb Depth has been changed to 2 3/16". Apply Jamb Extension now if needed.
 Nailing Fin

***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and

building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.

***Note: Unit Availability and Price is Subject to Change

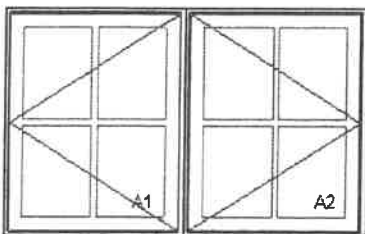
Initials required

Seller: _____

Buyer: _____

Line #15	Mark Unit: 104	Net Price:	1,424.16
Qty: 1		Ext. Net Price:	USD 1,424.16

MARVIN [®]



As Viewed From The Exterior

Entered As: RO
MO 56" X 34 3/4"
FS 55 1/2" X 34 1/2"
RO 56 1/2" X 35"
Egress Information A1, A2
 Width: 20 41/64" Height: 29 25/64"
 Net Clear Opening: 4.21 SqFt
Performance Information A1, A2
 U-Factor: 0.3
 Solar Heat Gain Coefficient: 0.26
 Visible Light Transmittance: 0.44
 Condensation Resistance: 58
 CPD Number: MAR-N-337-01660-00001
 ENERGY STAR: NC
Performance Grade A1, A2
 Licensee #918
 AAMA/WDMA/CSA/101/1.S.2/A440-11
 CW-PG50 914X2442 mm (36X96.13 in)
 CW-PG50 DP +50/-50
 FL10321

Ebony Clad Exterior
 Painted Interior Finish - Designer Black - Pine Interior
 2W1H - Rectangle Assembly
 Assembly Rough Opening
 56 1/2" X 35"

Unit: A1

Ultimate Casement Narrow Frame - Left Hand
 Basic Frame 27 3/4" X 34 1/2"
 Rough Opening 28 3/4" X 35"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 Square 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Square Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

Unit: A2

Ultimate Casement Narrow Frame - Right Hand
 Basic Frame 27 3/4" X 34 1/2"
 Rough Opening 28 3/4" X 35"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 Square 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Square Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

Standard Mull Charge
 2 3/16" Jamb
Jamb Depth has been changed to 2 3/16". Apply Jamb Extension now if needed.
 Nailing Fin

***Note: This configuration meets a minimum structural performance of DP 20

through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.

***Note: Unit Availability and Price is Subject to Change

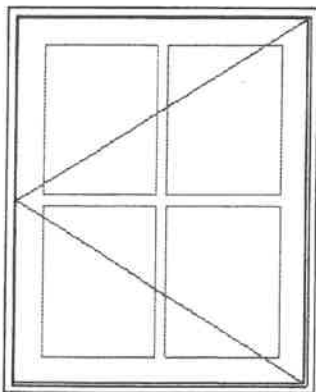
Initials required

Seller: _____

Buyer: _____

Line #16	Mark Unit: 105	Net Price:	625.37
Qty: 1		Ext. Net Price:	625.37
		USD	

MARVIN



As Viewed From The Exterior

Entered As: RO

MO 25 1/2" X 30 3/4"

FS 25" X 30 1/2"

RO 26" X 31"

Egress Information

Width: 17 57/64" Height: 25 25/64"

Net Clear Opening: 3.15 SqFt

Performance Information

U-Factor: 0.3

Solar Heat Gain Coefficient: 0.26

Visible Light Transmittance: 0.44

Condensation Resistance: 58

CPD Number: MAR-N-337-01660-00001

ENERGY STAR: NC

Performance Grade

License #918

AAMA/WDMA/CSA/101/I.S.2/A440-11

CW-PG50 914X2442 mm (36X96.13 in)

CW-PG50 DP +50/-50

FL10321

Ebony Clad Exterior

Painted Interior Finish - Designer Black - Pine Interior

Ultimate Casement Narrow Frame - Left Hand

Rough Opening 26" X 31"

Frame Size 25" X 30 1/2"

0 Degree Frame Bevel

Ebony Clad Sash Exterior

Painted Interior Finish - Designer Black - Pine Sash Interior

IG

Low E2 w/Argon

Black Perimeter and Spacer Bar

7/8" SDL - With Spacer Bar - Black

Rectangular - Special Cut 2W2H

Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int

Ogee Interior Glazing Profile

Standard Bottom Rail

Black Weather Strip

Matte Black Folding Handle

Matte Black Multi - Point Lock

Aluminum Screen

Ebony Surround

Charcoal Fiberglass Mesh

***Screen/Combo Ship Loose

2 3/16" Jamb

Nailing Fin

***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Line #17	Mark Unit: 107	Net Price:	625.37
Qty: 1		Ext. Net Price:	625.37
		USD	

MARVIN

Ebony Clad Exterior

Painted Interior Finish - Designer Black - Pine Interior

Ultimate Casement Narrow Frame - Right Hand

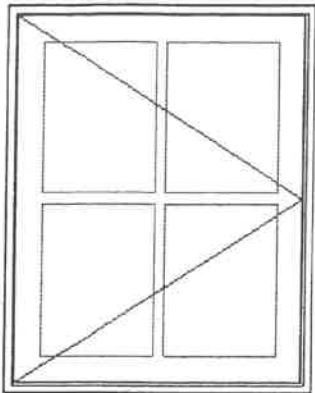
Rough Opening 26" X 31"

Frame Size 25" X 30 1/2"

0 Degree Frame Bevel

Ebony Clad Sash Exterior

Painted Interior Finish - Designer Black - Pine Sash Interior



As Viewed From The Exterior

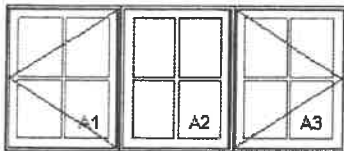
Entered As: RO
MO 25 1/2" X 30 3/4"
FS 25" X 30 1/2"
RO 26" X 31"
Egress Information
 Width: 17 57/64" Height: 25 25/64"
 Net Clear Opening: 3.15 SqFt
Performance Information
 U-Factor: 0.3
 Solar Heat Gain Coefficient: 0.26
 Visible Light Transmittance: 0.44
 Condensation Resistance: 58
 CPD Number: MAR-N-337-01660-00001
 ENERGY STAR: NC
Performance Grade
 Licensee #918
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 CW-PG50 914X2442 mm (36X96.13 in)
 CW-PG50 DP +50/-50
 FL10321

IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose
 2 3/16" Jambs
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

Initials required
 Seller: _____
 Buyer: _____

Line #18	Mark Unit: 108	Net Price:	1,999.44
Qty: 1		Ext. Net Price:	USD 1,999.44

MARVIN



As Viewed From The Exterior

Entered As: RO
MO 80 1/2" X 33 3/4"
FS 80" X 33 1/2"
RO 81" X 34"
Egress Information A1, A3
 Width: 19 9/16" Height: 28 25/64"
 Net Clear Opening: 3.86 SqFt
Egress Information A2
 No Egress Information available.
Performance Information A1, A2, A3
 U-Factor: 0.3
 Solar Heat Gain Coefficient: 0.26
 Visible Light Transmittance: 0.44
 Condensation Resistance: 58
 CPD Number: MAR-N-337-01660-00001
 ENERGY STAR: NC
Performance Grade A1
 Licensee #918
 AAMA/WDMA/CSA/101/I.S.2/A440-11

Ebony Clad Exterior
 Painted Interior Finish - Designer Black - Pine Interior
 3W1H - Rectangle Assembly
 Assembly Rough Opening
 81" X 34"
 Unit: A1
 Ultimate Casement Narrow Frame - Left Hand
 Basic Frame 26 43/64" X 33 1/2"
 Rough Opening 27 43/64" X 34"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine int
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

CW-PG50 914X2442 mm (36X96.13 in)
 CW-PG50 DP +50/-50
 FL10321
Performance Grade A2
 Licensee #918
 AAMA/WDMA/CSA/101/1.S.2/A440-11
 CW-PG50 914X2442 mm (36X96.13 in)
 CW-PG50 DP +50/-50
 FL10321
Performance Grade A3
 Licensee #918
 AAMA/WDMA/CSA/101/1.S.2/A440-11
 CW-PG50 914X2442 mm (36X96.13 in)
 CW-PG50 DP +50/-50
 FL10321
Performance Grade Mull
 Licensee #917
 AAMA 450-10
 LC-PG50 1502X1524 mm (60X59.12 in)
 LC-PG50 DP 50
 FL13150
Performance Grade Overall Assembly
 LC-PG50 DP

Unit: A2
 Ultimate Casement Narrow Frame - Stationary
 Basic Frame 26 43/64" X 33 1/2"
 Rough Opening 27 43/64" X 34"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Solid Wood Covers

Unit: A3
 Ultimate Casement Narrow Frame - Right Hand
 Basic Frame 26 43/64" X 33 1/2"
 Rough Opening 27 43/64" X 34"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose
 Standard Mull Charge
 2 3/16" Jamb
Jamb Depth has been changed to 2 3/16". Apply Jamb Extension now if needed.
 Nailing Fin
 ***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

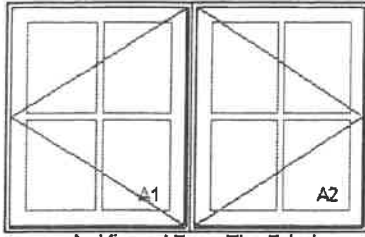
Buyer: _____

Line #19	Mark Unit: 109	Net Price:	1,372.82
Qty: 1		Ext. Net Price:	USD 1,372.82

MARVIN

Ebony Clad Exterior
 Painted Interior Finish - Designer Black - Pine Interior
 2W1H - Rectangle Assembly
 Assembly Rough Opening
 55" X 34"

Unit: A1
 Ultimate Casement Narrow Frame - Left Hand
 Basic Frame 27" X 33 1/2"
 Rough Opening 28" X 34"



As Viewed From The Exterior

Entered As: RO
MO 54 1/2" X 33 3/4"
FS 54" X 33 1/2"
RO 55" X 34"
Egress Information A1, A2
 Width: 19 57/64" Height: 28 25/64"
 Net Clear Opening: 3.92 SqFt
Performance Information A1, A2
 U-Factor: 0.3
 Solar Heat Gain Coefficient: 0.26
 Visible Light Transmittance: 0.44
 Condensation Resistance: 58
 CPD Number: MAR-N-337-01660-00001
 ENERGY STAR: NC
Performance Grade A1, A2
 Licensee #918
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 CW-PG50 914X2442 mm (36X96.13 in)
 CW-PG50 DP +50/-50
 FL10321

0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

Unit: A2
 Ultimate Casement Narrow Frame - Right Hand
 Basic Frame 27" X 33 1/2"
 Rough Opening 28" X 34"
 0 Degree Frame Bevel
 Ebony Clad Sash Exterior
 Painted Interior Finish - Designer Black - Pine Sash Interior
 IG
 Low E2 w/Argon
 Black Perimeter and Spacer Bar
 7/8" SDL - With Spacer Bar - Black
 Rectangular - Special Cut 2W2H
 Ebony Clad Ext - Painted Interior Finish - Designer Black - Pine Int
 Ogee Interior Glazing Profile
 Standard Bottom Rail
 Black Weather Strip
 Matte Black Folding Handle
 Matte Black Multi - Point Lock
 Aluminum Screen
 Ebony Surround
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose

Standard Mull Charge
 2 3/16" Jamb
Jamb Depth has been changed to 2 3/16". Apply Jamb Extension now if needed.
 Nailing Fin

***Note: This configuration meets a minimum structural performance of DP 20 through either physical testing or calculations in accordance with AAMA 450 and building code requirements. Mull certification ratings may vary from individual unit certification ratings. Reference the mulling chapter of the ADM for additional information.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Project Subtotal Net Price: USD	10,270.80
7.000% Sales Tax: USD	718.96
Project Total Net Price: USD	10,989.76

TERMS AND CONDITIONS

Notice to buyer: Do not sign this document until you have fully read and understand it.
I acknowledge that I have reviewed and understand all the above product specifications in the quote provided to me

- I agree to accept and pay for the quoted material. I understand that all items are custom ordered and therefore are non-returnable.
- Any modifications to, Product type, Size or Hardware Selection is subject to a price change.
- Woodland is not responsible for any oversights on my behalf or for verifying my local building codes, such as egress, tempered glass, window opening control devices or other safety requirements.
- All Window and Door Products are viewed for handing from the exterior of the building.
- Scope review will be required prior to product being ordered.
- Lead times: We are not responsible for additional lead times caused by custom selections and/or material shortages.
- Unless Noted Otherwise: This quote is for product only and includes sales tax (if applicable) and tailgate delivery to jobsite. When necessary, assistance with unloading may be required.
- Unless Noted Otherwise: Installation accessories such as installation straps and/or flashing tape are not included in the price.

Accepted by: _____ Date: _____

PRODUCT AND PERFORMANCE INFORMATION

NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see www.nfrc.org.

NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements.

PURCHASE APPROVAL/SIGN OFF

Project Subtotal Net Price: USD 10,270.80
7.000% Sales Tax: USD 718.96
Project Total Net Price: USD 10,989.76

I have reviewed all line item quotes in detail and agree that the product specifications and pricing are accurate, and I approve the project for order. I acknowledge that additional charges, tax or Terms and Conditions may apply.

BUYER:

Signature: _____

Title: _____

Date: _____

UNIT SUMMARY

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 11

TOTAL UNIT QTY: 11

EXT NET PRICE: USD 9,098.39

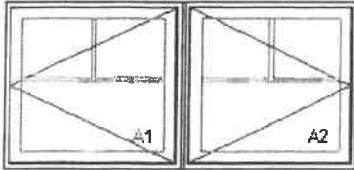
LINE	MARK UNIT	PRODUCT LINE	ITEM	NET PRICE	QTY	EXTENDED NET PRICE
1	101	Essential	Essential Assembly RO 60 1/2" X 28 1/2" Entered as FS 60" X 28"	954.30	1	954.30
2	102	Essential	Essential Assembly RO 55 3/4" X 35" Entered as FS 55 1/4" X 34 1/2"	890.34	1	890.34
3	103	Essential	Essential Assembly RO 54 7/8" X 35" Entered as FS 54 3/8" X 34 1/2"	890.34	1	890.34
4	104	Essential	Essential Assembly RO 55 1/4" X 35" Entered as FS 54 3/4" X 34 1/2"	890.34	1	890.34
5	105	Essential	Casement Picture RO 25 1/2" X 31" Entered as FS 25" X 30 1/2"	378.71	1	378.71
6	107	Essential	Casement Picture RO 25 1/2" X 31" Entered as FS 25" X 30 1/2"	378.71	1	378.71
7	108	Essential	Essential Assembly RO 80 1/4" X 33 1/4" Entered as FS 79 3/4" X 32 3/4"	1,275.95	1	1,275.95
8	109	Essential	Essential Assembly RO 66 1/2" X 38 1/4" Entered as FS 66" X 37 3/4"	1,354.33	1	1,354.33
9	110	Essential	Essential Assembly RO 54 1/4" X 33" Entered as FS 53 3/4" X 32 1/2"	890.34	1	890.34
10	111	Essential	Sliding Patio Door CN 6068 RO 72" X 80" Entered as CN 6068	1,380.03	1	1,380.03
11	2% CASH/CHECK DISCOUNT	Non-Marvin	Materials 2% CASH/CHECK DISCOUNT	-185.00	1	-185.00

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit: 101	Net Price:		954.30
Qty: 1		Ext. Net Price:	USD	954.30

MARVIN



As Viewed From The Exterior

Entered As: FS
MO 60 1/2" X 28 1/4"
FS 60" X 28"
RO 60 1/2" X 28 1/2"
Egress Information A1, A2
 Width: 20 59/64" Height: 22 13/16"
 Net Clear Opening: 3.32 SqFt
Performance Information A1, A2
 U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.45
 Condensation Resistance: 59
 CPD Number: MAR-N-375-00206-00001
 ENERGY STAR: NC
Performance Grade A1, A2
 Licensee #1034
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 902X864 mm (35.5X34 in)
 LC-PG40 DP +40/-40
 FL13631

Ebony Exterior
 Ebony Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size
 60" X 28"
 Assembly Rough Opening
 60 1/2" X 28 1/2"

Unit: A1
 Essential Casement - Left Hand
 Basic Frame 29 3/4" X 28"
 Rough Opening 30 1/4" X 28 1/2"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Essential Casement - Right Hand
 Basic Frame 29 3/4" X 28"
 Rough Opening 30 1/4" X 28 1/2"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose

Vertical Space Mull 1/2"
 2" Jamb
 Nailing Fin with 4" Structural Brackets
 ***Note: This configuration is not certified for air, structural or water performance.
 ***Note: Essential rough openings are 1/2" greater than overall frame size width and 1/2" greater than frame size height. Please take note of this when ordering Essential custom sized units.
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

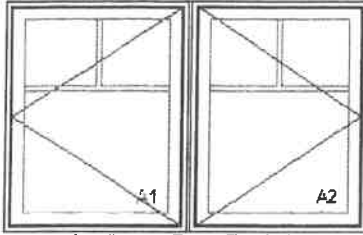
Initials required

Seller: _____

Buyer: _____

Line #2	Mark Unit: 102	Net Price:	890.34
Qty: 1		Ext. Net Price:	USD 890.34

MARVIN



As Viewed From The Exterior

Entered As: FS
MO 55 3/4" X 34 3/4"
FS 55 1/4" X 34 1/2"
RO 55 3/4" X 35"
Egress Information A1, A2
 Width: 18 35/64" Height: 29 5/16"
 Net Clear Opening: 3.78 SqFt
Performance Information A1, A2
 U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.45
 Condensation Resistance: 59
 CPD Number: MAR-N-375-00206-00001
 ENERGY STAR: NC
Performance Grade A1, A2
 Licensee #1034
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 699X1816 mm (27.4X71.5 in)
 LC-PG40 DP +40/-40
 FL13631

Ebony Exterior
 Ebony Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size
 55 1/4" X 34 1/2"
 Assembly Rough Opening
 55 3/4" X 35"
 Unit: A1
 Essential Casement - Left Hand
 Basic Frame 27 3/8" X 34 1/2"
 Rough Opening 27 7/8" X 35"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Essential Casement - Right Hand
 Basic Frame 27 3/8" X 34 1/2"
 Rough Opening 27 7/8" X 35"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose
 Vertical Space Mull 1/2"
 2" Jamb
 Nailing Fin with 4" Structural Brackets
 ***Note: Essential rough openings are 1/2" greater than overall frame size width and 1/2" greater than frame size height. Please take note of this when ordering Essential custom sized units.
 ***Note: This configuration is not certified for air, structural or water performance.
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

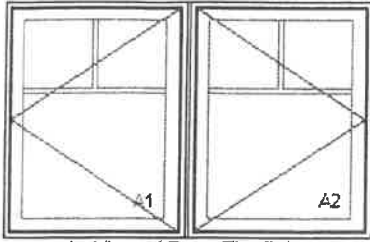
Initials required

Seller: _____

Buyer: _____

Line #3	Mark Unit: 103	Net Price:	890.34
Qty: 1		Ext. Net Price:	USD 890.34

MARVIN



As Viewed From The Exterior

Entered As: FS
MO 54 7/8" X 34 3/4"
FS 54 3/8" X 34 1/2"
RO 54 7/8" X 35"
Egress Information A1, A2
 Width: 18 7/64" Height: 29 5/16"
 Net Clear Opening: 3.69 SqFt
Performance Information A1, A2
 U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.45
 Condensation Resistance: 59
 CPD Number: MAR-N-375-00206-00001
 ENERGY STAR: NC
Performance Grade A1, A2
 Licensee #1034
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 699X1816 mm (27.4X71.5 in)
 LC-PG40 DP +40/-40
 FL13631

Ebony Exterior
 Ebony Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size
 54 3/8" X 34 1/2"
 Assembly Rough Opening
 54 7/8" X 35"

Unit: A1
 Essential Casement - Left Hand
 Basic Frame 26 15/16" X 34 1/2"
 Rough Opening 27 7/16" X 35"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Essential Casement - Right Hand
 Basic Frame 26 15/16" X 34 1/2"
 Rough Opening 27 7/16" X 35"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose
 Vertical Space Mull 1/2"
 2" Jamb
 Nailing Fin with 4" Structural Brackets
 ***Note: Essential rough openings are 1/2" greater than overall frame size width and 1/2" greater than frame size height. Please take note of this when ordering Essential custom sized units.
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: This configuration is not certified for air, structural or water performance.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

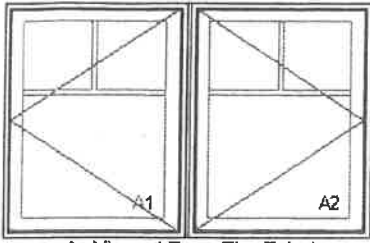
Seller: _____

Buyer: _____

Line #4	Mark Unit: 104	Net Price:	890.34
Qty: 1		Ext. Net Price:	890.34
		USD	

MARVIN

Ebony Exterior
 Ebony Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size



As Viewed From The Exterior

Entered As: FS
MO 55 1/4" X 34 3/4"
FS 54 3/4" X 34 1/2"
RO 55 1/4" X 35"
Egress Information A1, A2
 Width: 18 19/64" Height: 29 5/16"
 Net Clear Opening: 3.73 SqFt
Performance Information A1, A2
 U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.45
 Condensation Resistance: 59
 CPD Number: MAR-N-375-00206-00001
 ENERGY STAR: NC
Performance Grade A1, A2
 Licensee #1034
 AAMA/WDMA/CSA/101/1.S.2/A440-11
 LC-PG40 699X1816 mm (27.4X71.5 in)
 LC-PG40 DP +40/-40
 FL13631

54 3/4" X 34 1/2"
 Assembly Rough Opening
 55 1/4" X 35"
 Unit: A1
 Essential Casement - Left Hand
 Basic Frame 27 1/8" X 34 1/2"
 Rough Opening 27 5/8" X 35"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Essential Casement - Right Hand
 Basic Frame 27 1/8" X 34 1/2"
 Rough Opening 27 5/8" X 35"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose
 Vertical Space Mull 1/2"
 2" Jambes
 Nailing Fin with 4" Structural Brackets
 ***Note: Essential rough openings are 1/2" greater than overall frame size width and 1/2" greater than frame size height. Please take note of this when ordering Essential custom sized units.
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: This configuration is not certified for air, structural or water performance.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

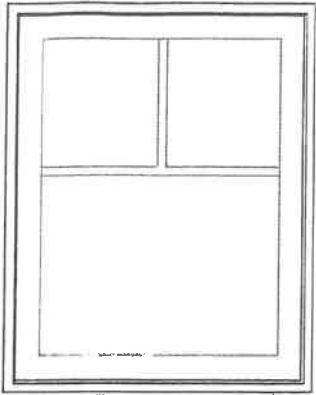
Seller: _____

Buyer: _____

Line #5	Mark Unit: 105	Net Price:	378.71
Qty: 1		Ext. Net Price:	378.71
		USD	

MARVIN

Ebony Exterior
 Ebony Interior
 Essential Casement Picture
 Frame Size 25" X 30 1/2"
 Rough Opening 25 1/2" X 31"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H



As Viewed From The Exterior

3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 2" Jamb
 Nailing Fin
 ***Note: Essential rough openings are 1/2" greater than overall frame size width and 1/2" greater than frame size height. Please take note of this when ordering Essential custom sized units.
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

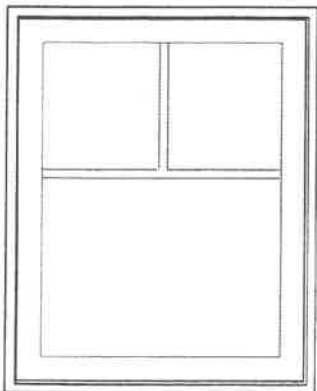
Seller: _____

Buyer: _____

Entered As: FS
MO 25 1/2" X 30 3/4"
FS 25" X 30 1/2"
RO 25 1/2" X 31"
Egress Information
 No Egress Information available.
Performance Information
 U-Factor: 0.27
 Solar Heat Gain Coefficient: 0.3
 Visible Light Transmittance: 0.51
 Condensation Resistance: 58
 CPD Number: MAR-N-376-00370-00001
 ENERGY STAR: N, NC
Performance Grade
 Licensee #1039
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 1816X1816 mm (71.5X71.5 in)
 LC-PG40 DP +40/-40
 FL13632

Line #6	Mark Unit: 107	Net Price:		378.71
Qty: 1		Ext. Net Price:	USD	378.71

MARVIN



As Viewed From The Exterior

Ebony Exterior
 Ebony Interior
 Essential Casement Picture
 Frame Size 25" X 30 1/2"
 Rough Opening 25 1/2" X 31"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 2" Jamb
 Nailing Fin
 ***Note: Essential rough openings are 1/2" greater than overall frame size width and 1/2" greater than frame size height. Please take note of this when ordering Essential custom sized units.
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

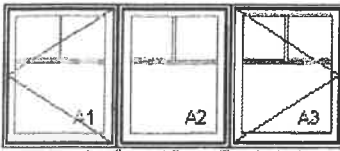
Buyer: _____

Entered As: FS
MO 25 1/2" X 30 3/4"
FS 25" X 30 1/2"
RO 25 1/2" X 31"
Egress Information
 No Egress Information available.
Performance Information
 U-Factor: 0.27
 Solar Heat Gain Coefficient: 0.3

Visible Light Transmittance: 0.51
 Condensation Resistance: 58
 CPD Number: MAR-N-376-00370-00001
 ENERGY STAR: N, NC
Performance Grade
 Licensee #1039
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 1816X1816 mm (71.5X71.5 in)
 LC-PG40 DP +40/-40
 FL13632

Line #7	Mark Unit: 108	Net Price:	1,275.95
Qty: 1		Ext. Net Price:	1,275.95

MARVIN



As Viewed From The Exterior

Entered As: FS
MO 80 1/4" X 33"
FS 79 3/4" X 32 3/4"
RO 80 1/4" X 33 1/4"
Egress Information A1, A2, A3
 Width: 17 27/64" Height: 27 9/16"
 Net Clear Opening: 3.34 SqFt
Performance Information A1, A2, A3
 U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.45
 Condensation Resistance: 59
 CPD Number: MAR-N-375-00206-00001
 ENERGY STAR: NC
Performance Grade A1, A3
 Licensee #1034
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 699X1816 mm (27.4X71.5 in)
 LC-PG40 DP +40/-40
 FL13631
Performance Grade A2
 Licensee #1039
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 1816X1816 mm (71.5X71.5 in)
 LC-PG40 DP +40/-40
 FL13632

Ebony Exterior
 Ebony Interior
 3W1H - Rectangle Assembly
 Assembly Frame Size
 79 3/4" X 32 3/4"
 Assembly Rough Opening
 80 1/4" X 33 1/4"

Unit: A1
 Essential Casement - Left Hand
 Basic Frame 26 1/4" X 32 3/4"
 Rough Opening 26 3/4" X 33 1/4"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Essential Casement - Stationary
 Basic Frame 26 1/4" X 32 3/4"
 Rough Opening 26 3/4" X 33 1/4"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int

Unit: A3
 Essential Casement - Right Hand
 Basic Frame 26 1/4" X 32 3/4"
 Rough Opening 26 3/4" X 33 1/4"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose
 Vertical Space Mull 1/2"

2" Jambs
 Nailing Fin with 4" Structural Brackets
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: This configuration is not certified for air, structural or water performance.
 ***Note: Essential rough openings are 1/2" greater than overall frame size width and 1/2" greater than frame size height. Please take note of this when ordering Essential custom sized units.
 ***Note: Unit Availability and Price is Subject to Change

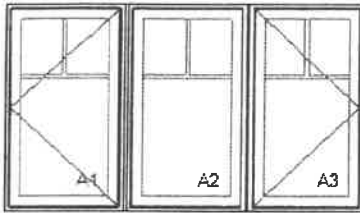
Initials required

Seller: _____

Buyer: _____

Line #8	Mark Unit: 109	Net Price:	1,354.33
Qty: 1		Ext. Net Price:	USD 1,354.33

MARVIN



As Viewed From The Exterior

Entered As: FS
MO 66 1/2" X 38"
FS 66" X 37 3/4"
RO 66 1/2" X 38 1/4"
Egress Information A1, A2, A3
 Width: 12 27/32" Height: 32 9/16"
 Net Clear Opening: 2.90 SqFt
Performance Information A1, A2, A3
 U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.45
 Condensation Resistance: 59
 CPD Number: MAR-N-375-00206-00001
 ENERGY STAR: NC
Performance Grade A1, A3
 Licensee #1034
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 699X1816 mm (27.4X71.5 in)
 LC-PG40 DP +40/-40
 FL13631
Performance Grade A2
 Licensee #1039
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 1816X1816 mm (71.5X71.5 in)
 LC-PG40 DP +40/-40
 FL13632

Ebony Exterior
 Ebony Interior
 3W1H - Rectangle Assembly
 Assembly Frame Size
 66" X 37 3/4"
 Assembly Rough Opening
 66 1/2" X 38 1/4"
 Unit: A1
 Essential Casement - Left Hand
 Basic Frame 21 43/64" X 37 3/4"
 Rough Opening 22 11/64" X 38 1/4"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Essential Casement - Stationary
 Basic Frame 21 43/64" X 37 3/4"
 Rough Opening 22 11/64" X 38 1/4"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int

Unit: A3
 Essential Casement - Right Hand
 Basic Frame 21 43/64" X 37 3/4"
 Rough Opening 22 11/64" X 38 1/4"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height

Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose
 Vertical Space Mull 1/2"
 2" Jambs
 Nailing Fin with 4" Structural Brackets
 ***Note: Essential rough openings are 1/2" greater than overall frame size width and 1/2" greater than frame size height. Please take note of this when ordering Essential custom sized units.
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: This configuration is not certified for air, structural or water performance.
 ***Note: Unit Availability and Price is Subject to Change

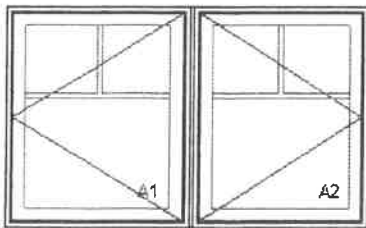
Initials required

Seller: _____

Buyer: _____

Line #9	Mark Unit: 110	Net Price:	890.34
Qty: 1		Ext. Net Price:	890.34
		USD	

MARVIN



As Viewed From The Exterior

Entered As: FS
MO 54 1/4" X 32 3/4"
FS 53 3/4" X 32 1/2"
RO 54 1/4" X 33"
Egress Information A1, A2
 Width: 17 51/64" Height: 27 5/16"
 Net Clear Opening: 3.38 SqFt
Performance Information A1, A2
 U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.27
 Visible Light Transmittance: 0.45
 Condensation Resistance: 59
 CPD Number: MAR-N-375-00206-00001
 ENERGY STAR: NC
Performance Grade A1, A2
 Licensee #1034
 AAMA/WDMA/CSA/101/I.S.2/A440-11
 LC-PG40 699X1816 mm (27.4X71.5 in)
 LC-PG40 DP +40/-40
 FL13631

Ebony Exterior
 Ebony Interior
 2W1H - Rectangle Assembly
 Assembly Frame Size
 53 3/4" X 32 1/2"
 Assembly Rough Opening
 54 1/4" X 33"
 Unit: A1
 Essential Casement - Left Hand
 Basic Frame 26 5/8" X 32 1/2"
 Rough Opening 27 1/8" X 33"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose

Unit: A2
 Essential Casement - Right Hand
 Basic Frame 26 5/8" X 32 1/2"
 Rough Opening 27 1/8" X 33"
 IG
 Low E2 w/Argon
 Stainless Perimeter Bar
 GBG
 Cottage 2W1H
 3 Rect Lites
 10" DLO Height
 Ebony Ext - Ebony Int
 Matte Black Folding Handle
 Interior Aluminum Screen
 Charcoal Fiberglass Mesh
 Ebony Surround
 ***Screen/Combo Ship Loose

Vertical Space Mull 1/2"
 2" Jambs
 Nailing Fin with 4" Structural Brackets
 ***Note: This configuration is not certified for air, structural or water performance.
 ***Note: Divided lite cut alignment may not be accurately represented in the OMS drawing. Please consult your local representative for exact specifications.
 ***Note: Essential rough openings are 1/2" greater than overall frame size width and 1/2" greater than frame size height. Please take note of this when ordering Essential custom sized units.
 ***Note: Unit Availability and Price is Subject to Change

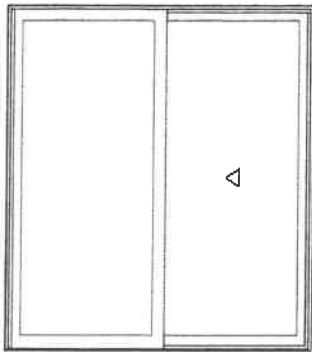
Initials required

Seller: _____

Buyer: _____

Line #10	Mark Unit: 111	Net Price:	1,380.03
Qty: 1		Ext. Net Price:	USD 1,380.03

MARVIN



Stationary Primary

As Viewed From The Exterior

Ebony Exterior
 Ebony Interior
 Essential Sliding Patio Door OX
 CN 6068
 Rough Opening 72" X 80"
 Left Panel
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Stainless Perimeter Bar
 Right Panel
 IG - 1 Lite
 Tempered Low E2 w/Argon
 Stainless Perimeter Bar
 Cambridge Handle Matte Black Exterior Handle set
 Cambridge Handle Matte Black Interior Handle set
 Ebony Sliding Screen
 Charcoal Fiberglass Mesh
 ***Screen/Combo Ship Loose
 Bronze Ultrex Sill / Black Weather Strip
 3 3/8" Jambs
 Nailing Fin
 ***Note: Unit Availability and Price is Subject to Change

Initials required

Seller: _____

Buyer: _____

Entered As: CN
 MO 72" X 79 3/4"
 CN 6068
 FS 71 1/2" X 79 1/2"
 RO 72" X 80"
Egress Information
 Width: 30 1/16" Height: 75 17/64"
 Net Clear Opening: 15.72 SqFt
Performance Information
 U-Factor: 0.29
 Solar Heat Gain Coefficient: 0.34
 Visible Light Transmittance: 0.58
 Condensation Resistance: 59
 CPD Number: MAR-N-335-00248-00001
 ENERGY STAR: N, NC
Performance Grade
 Licensee #928
 AAMA/WDMA/CSA/101/ I.S.2/A440-08
 R-PG30 1816X2070 mm (72.5X82 in)
 R-PG30 DP +30/-30
 FL10248

Line #11	Mark Unit: 2% CASH/CHECK DISCOUNT	Net Price:	-185.00
Qty: 1		Ext. Net Price:	USD -185.00

TERMS AND CONDITIONS

Notice to buyer: Do not sign this document until you have fully read and understand it.
I acknowledge that I have reviewed and understand all the above product specifications in the quote provided to me

- I agree to accept and pay for the quoted material. I understand that all items are custom ordered and therefore are non-returnable.
- Any modifications to, Product type, Size or Hardware Selection is subject to a price change.
- Woodland is not responsible for any oversights on my behalf or for verifying my local building codes, such as egress, tempered glass, window opening control devices or other safety requirements.
- All Window and Door Products are viewed for handing from the exterior of the building.
- Scope review will be required prior to product being ordered.
- Lead times: We are not responsible for additional lead times caused by custom selections and/or material shortages.
- Unless Noted Otherwise: This quote is for product only and includes sales tax (if applicable) and tailgate delivery to jobsite. When necessary, assistance with unloading may be required.
- Unless Noted Otherwise: Installation accessories such as installation straps and/or flashing tape are not included in the price.

Accepted by: _____ Date: _____

PRODUCT AND PERFORMANCE INFORMATION

NFRC energy ratings and values may vary depending on the exact configuration of glass thickness used on the unit. This data may change over time due to ongoing product changes or updated test results or requirements.

The National Fenestration Rating Council (NFRC) has developed and operates a uniform national rating system for the energy performance of fenestration products, including windows and doors. For additional information regarding this rating system, see www.nfrc.org.

NFRC energy values and ratings may change over time due to ongoing product changes, updated test results or requirements.

PURCHASE APPROVAL/SIGN OFF

Project Subtotal Net Price: USD	9,283.39
Taxable Materials: USD	-185.00
7.000% Sales Tax: USD	636.89
Project Total Net Price: USD	9,735.28

I have reviewed all line item quotes in detail and agree that the product specifications and pricing are accurate, and I approve the project for order. I acknowledge that additional charges, tax or Terms and Conditions may apply.

BUYER:

Signature: _____

Title: _____

Date: _____



Dedicated to Service & Quality™

SPECIAL ORDER CONTRACT
GUEST COPY

HNVR30176861

Scan Barcode at Scan & Go Gate



Product must be paid for before it will be ordered from our vendor. Prices shown are valid today only.

STORE # 3253
7435 BARRINGTON RD
HANOVER PARK, IL 60133

PHONE: 630-213-8775
FAX: 630-213-8816

GUEST NAME - ADDRESS - PHONE

Bruce Suffen
316 Oakbrook Ct
Bartlett, IL 60103-4466
Phone #: 6303638606

ADDITIONAL INFORMATION

Ship To Store

HANOVER PARK
7435 BARRINGTON RD
HANOVER PARK, IL 60133

Cashier:
Please staple receipt to back.

THANK YOU!

IMPORTANT
1. Verify quoted product and quantity
2. Product will be ordered upon payment
3. Track order on Menards.com
4. Pick up order within 14 days of arrival at store
5. Retain receipt

ESTIMATED DELIVERY DATE NOT BINDING ON MENARD INC. BASED ON PROMISES BY OTHERS		03/17/2021
SOLD BY 1966304 jackson anderson	ORDER DATE 02/23/2021	

QTY ORDERED	DESCRIPTION	SKU	UNIT PRICE	EXTENDED PRICE
30	Metropolitan Ceramics Special Order Vendor Part #: 8X8_VERSATILE_MAYFLWR_RED QuarryBasics® Mayflower Red 8 x 8 Quarry Floor and Wall Tile Approximate delivery 22 days from order date. Size: 7-5/8" x 7-5/8" Color: Mayflower Red Each item must be from the same dye lot	734-0522	\$16.96	\$508.80

**** Installers Check List ****

In making sure that you have everything needed to correctly and easily complete your project please take a moment to review the list below. Check with an available helpful Menards Team member if you have any questions. Not all products below may be needed for your particular installation process.

Mortar or Adhesive	Grout and Additive	Caulk	Grout Sealer
Trowels	5 Gallon Bucket	Spacers	Tile Saw
Grout Float	Grout Sponge	Level	Chalk Line

Duplicate

READ THIS CONTRACT CAREFULLY. The terms and conditions set forth in this document are a complete and final expression of the parties. The contract cannot be altered except by written instrument explicitly signed and executed by the General Manager. Any and all claims under this contract must be brought within one year of purchase. **Special order product may be refunded at Menards' sole discretion with a 25% restocking fee.** Purchaser is responsible for providing to Menards® all measurements, sizes, and colors stated above. Purchaser's exclusive remedy, if any product is defective or fails to conform to the terms of the contract, is replacement of the product. All defects and non-conformities must be reported to Menards® within 3 days of receiving the product. Purchaser understands that all product is sold AS IS and the manufacturer's warranty, if any, is controlling. **MENARDS® MAKES NO WARRANTIES, EXPRESS OR IMPLIED AS TO THE MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OF THE PRODUCT.** There are no representations that the products listed herein meet local, state, or federal code requirements. Menards® liability shall not exceed the purchase price of the products sold. **MENARDS® SHALL NOT BE LIABLE FOR ANY SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES.** Menards® agrees to email Purchaser when the product is available for pick-up. If Purchaser fails to provide an email address, it is Purchaser's responsibility to check the status of the order by visiting Menards.com. If Purchaser refuses or fails to pick up the product within 15 days from the date of its availability, Menards® may liquidate the product and shall be entitled to a 25% restocking fee. Menards® may withhold any payment received as partial satisfaction. Purchaser agrees that Menards® is not liable if the vendor, which supplies the product on this contract, fails to perform. Purchaser agrees that any and all controversies or claims arising out of or relating to this contract, or the breach thereof, shall be settled by binding arbitration administered by the American Arbitration Association under its applicable Consumer or Commercial Arbitration Rules. Purchaser agrees that all arbitrators selected shall be attorneys. This provision shall supersede any contrary rule or provision of the forum state.

YOUR PURCHASE OF THE PRODUCT ON THIS CONTRACT CONSTITUTES YOUR AGREEMENT TO ALL TERMS AND CONDITIONS STATED ABOVE.

SUB-TOTAL:	\$508.80
SHIPPING CHARGES:	\$0.00
PRE-TAX TOTAL:	\$508.80
VENDOR: Metropolitan Ceramics	
WARRANTY INFO:	
For the most accurate and up-to-date status of your order, please visit: www.menards.com	

If this is a partial pickup, please verify all quantities/items being signed for. Menards® is not responsible for shortages after leaving the yard.





Product must be paid for before it will be ordered from our vendor. Prices shown are valid today only.

SPECIAL ORDER CONTRACT GUEST COPY

HNVR30176861

Scan Barcode at Scan & Go Gate



STORE # 3253 7435 BARRINGTON RD HANOVER PARK, IL 60133 PHONE: 630-213-8775 FAX: 630-213-8816

Form with fields: GUEST NAME - ADDRESS - PHONE, Bruce Suffen, 316 Oakbrook Ct, Bartlett, IL 60103-4466, Phone #: 6303638606, ADDITIONAL INFORMATION, Ship To Store, HANOVER PARK, 7435 BARRINGTON RD, HANOVER PARK, IL 60133

Cashier: Please staple receipt to back.

THANK YOU!

- IMPORTANT
1. Verify quoted product and quantity
2. Product will be ordered upon payment
3. Track order on Menards.com
4. Pick up order within 14 days of arrival at store
5. Retain receipt

Table with 2 columns: SOLD BY, ORDER DATE. Values: 1966304, jackson anderson, 02/23/2021

Main table with columns: QTY ORDERED, DESCRIPTION, SKU, UNIT PRICE, EXTENDED PRICE. Row 1: 30 Metropolitan Ceramics Special Order vendor Part #: 8X8_VERSATILE_MAYFLWR_RED QuarryBasics® Mayflower Red 8 x 8 Quarry Floor and wall Tile...

**** Installers Check List ****

In making sure that you have everything needed to correctly and easily complete your project please take a moment to review the list below. Check with an available helpful Menards Team member if you have any questions. Not all products below may be needed for your particular installation process.

- Mortar or Adhesive Grout and Additive Caulk Grout Sealer
Trowels 5 Gallon Bucket Spacers Tile Saw
Grout Float Grout Sponge Level Chalk Line

Duplicate

READ THIS CONTRACT CAREFULLY. The terms and conditions set forth in this document are a complete and final expression of the parties. The contract cannot be altered except by written instrument explicitly signed and executed by the General Manager. Any and all claims under this contract must be brought within one year of purchase. Special order product may be refunded at Menards' sole discretion with a 25% restocking fee. Purchaser is responsible for providing to Menards' all measurements, sizes, and colors stated above. Purchaser's exclusive remedy, if any product is defective or fails to conform to the terms of the contract, is replacement of the product. All defects and non-conformities must be reported to Menards' within 3 days of receiving the product. Purchaser understands that all product is sold AS IS and the manufacturer's warranty, if any, is controlling. MENARDS' MAKES NO WARRANTIES, EXPRESS OR IMPLIED AS TO THE MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OF THE PRODUCT. There are no representations that the products listed herein meet local, state, or federal code requirements. Menards' liability shall not exceed the purchase price of the products sold. MENARDS' SHALL NOT BE LIABLE FOR ANY SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES. Menards' agrees to email Purchaser when the product is available for pick-up. If Purchaser fails to provide an email address, it is Purchaser's responsibility to check the status of the order by visiting Menards.com. If Purchaser refuses or fails to pick up the product within 15 days from the date of its availability, Menards' may liquidate the product and shall be entitled to a 25% restocking fee. Menards' may withhold any payment received as partial satisfaction. Purchaser agrees that Menards' is not liable if the vendor, which supplies the product on this contract, fails to perform. Purchaser agrees that any and all controversies or claims arising out of or relating to this contract, or the breach thereof, shall be settled by binding arbitration administered by the American Arbitration Association under its applicable Consumer or Commercial Arbitration Rules. Purchaser agrees that all arbitrators selected shall be attorneys. This provision shall supersede any contrary rule or provision of the forum state.

YOUR PURCHASE OF THE PRODUCT ON THIS CONTRACT CONSTITUTES YOUR AGREEMENT TO ALL TERMS AND CONDITIONS STATED ABOVE.

Table with 2 columns: Item, Amount. SUB-TOTAL: \$508.80, SHIPPING CHARGES: \$0.00, PRE-TAX TOTAL: \$508.80, VENDOR: Metropolitan Ceramics, WARRANTY INFO:

For the most accurate and up-to-date status of your order, please visit: www.menards.com

If this is a partial pickup, please verify all quantities/items being signed for. Menards' is not responsible for shortages after leaving the yard.





Prices shown are valid today only.

HNVR 01454

STORE # 3253 HNVR
7435 Barrington Road
Hanover Pk, IL 60133

FAX: (630) 213-8816
EMAIL: HNVRBuildingMaterials@menards.com



PICKING LIST - GUEST COPY
PAGE 1 OF 1

GUEST NAME - ADDRESS - PHONE

SOLD BY: JACKSON A.
DATE: 02/23/21

Ph:
JOB DESC:
kitchen

QUANTITY	DESCRIPTION	SKU NUMBER
15 EACH	FRP WHITE 4X8	FRPM090WTT4809C 507-2800
3 EACH	8' FRP INSIDE CRNR	91702-GRAY 509-3849
2 EACH	8' FRP OUTSIDE CRNR	91202-GRAY 509-3862
12 EACH	8' FRP DIVIDER	91402-GRAY 509-3888
1 EACH	FASTGRAB FRP ADHESIVE 3.5#4059	520-2202
3 EACH	FULLFLEX MORTAR	WHITE 50# 705-6808
1 EACH	POWER GROUT - 7#	LIGHT PEWTER 705-6860
2 EACH	POWER GROUT - 25#	LIGHT PEWTER 705-6865
3 EACH	3/8" TILE SPACER 100	100PK 709-8682

FLOOR ACCESSORIES
TILE Kitchen

**TO AVOID PRODUCT NOT BEING AVAILABLE ON A LATER DATE
PLEASE PICK UP ALL MERCHANDISE TODAY. THANK YOU.**

This is a quote valid today. Upon payment this quote becomes a yard picking list subject to the terms and conditions below. Quantities listed above may exceed quantities available for immediate pick-up. Product is not held for a specific guest, but instead is available to the buying public on a first come, first serve basis. Please pickup all purchases made on this picking list immediately. Failure to pick up products on this picking list today will result in additional charge to you if, on the day of pick up, the retail price of the products are higher than on the day purchased. Menards liability to you is limited to refunding your original purchase price for any product not picked up.

Guest Instructions:

1. Take this picking list to a cashier to pay for the merchandise.
2. Enter the outside yard to pick up your merchandise. (All vehicles are subject to inspection.)
3. Load your merchandise. (Menards Team Members will gladly help you load your materials but cannot be held liable for damage to your vehicle.)
4. When exiting the yard, present this list to the Gate Attendant. (The Gate Attendant will record the items you are taking with you.)
5. Sign the Gate Attendant's signature pad verifying you've received the merchandise.

PRE-TAX TOTAL: 681.09

Our insurance does not allow us to tie down or secure your load, trunk lid, etc. For your convenience, we supply twine, but you will have to decide whether or not your load is secure and if the twine supplied is strong enough. If you do not believe the twine will suffice, stronger material can be purchased inside the store.

READ THE TERMS AND CONDITIONS CAREFULLY. All returns are subject to Menards' posted return policy. In consideration for Menards low prices you agree that if any merchandise purchased by you is defective, Menards will agree to exchange the merchandise or refund the purchase price based on the form of original payment. You agree that there shall be no other remedy available to you. If there is a warranty provided by the manufacturer, that warranty shall govern your rights and Menards shall be selling the product "AS IS." Oral statements do not constitute warranties, and are not a part of this contract. The guest agrees to inspect all merchandise prior to installing or using it. **UNDER NO CIRCUMSTANCES SHALL MENARDS BE LIABLE FOR ANY SPECIAL, INCIDENTAL, OR CONSEQUENTIAL DAMAGES. MENARDS MAKES NO WARRANTIES, EXPRESS OR IMPLIED, AS TO MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE OF THE MERCHANDISE.** Any controversy or claim arising out of or relating to this contract, or the breach thereof, shall be settled by arbitration administered by the American Arbitration Association under its applicable Consumer or Commercial Arbitration Rules, and judgments on the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof. The guest agrees to these terms and conditions through purchase of merchandise contained on this document.

THIS IS NOT A RECEIPT GATE ATTENDANT-SCAN HERE ==>



Estimate From



Estimate # 1450

Page 1 of 1

ESTIMATE FOR:
Suffen, Bruce 316 Oakbrook Ct Bartlett, IL 60103-4466
Ph: (630) 363-8606
PROJECT DESCRIPTION: kitchen

STORE # 3253 HNVR
7435 Barrington Road
Hanover Pk, IL 60133

FAX: (630) 213-8816
EMAIL: HNVRFloorCoverings@menards.com

ESTIMATE BY ESTIMATE DATE
JACKSON A. 02/23/21

SKU NUMBER	DESCRIPTION	QTY TO ORDER	ADDITIONAL ITEM INFORMATION
734-0522	8X8 VERSATILE MAYFLWR RED#310 7.1 SQFT	30 PKG	** Special Order **
507-2800	FRP WHITE 4X8 FRPM090WTT4809C	15 EACH	
705-6808	FULLFLEX MORTAR WHITE 50#	3 EACH	
709-8682	3/8" TILE SPACER 100 100PK	3 EACH	
520-2202	FASTGRAB FRP ADHESIVE 3.5#4059	1 EACH	
705-6865	POWER GROUT - 25# LIGHT PEWTER	2 EACH	
705-6860	POWER GROUT - 7# LIGHT PEWTER	1 EACH	
509-3849	8' FRP INSIDE CRNR 91702-GRAY	3 EACH	
509-3862	8' FRP OUTSIDE CRNR 91202-GRAY	2 EACH	
509-3888	8' FRP DIVIDER 91402-GRAY	12 EACH	

2nd order
TILE & GROUT

This is an estimate. It is given only for general price information. This is not an offer and there can be no legally binding contract between the parties based upon this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form and are not inclusive of taxes, delivery, packaging or any other charges which may or may not need to be added when ultimately purchasing products from this estimate. The availability of materials is subject to inventory conditions. **MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY OF THE MATERIALS STATED HEREIN.** All information on this form, other than price, has been provided by guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. **MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS.**

TODAY'S SUB-TOTAL 1,189.89

**GUEST COPY
PAGE 1 OF 1**

ECONOMIC DEVELOPMENT MEMORANDUM

DATE: September 22, 2022
TO: Chairman and Members of the Economic Development Commission
FROM: Tony Fradin, Economic Development Coordinator *TF*
RE: MORE Brewing BEDA application

APPLICANT: Sachin (Sunny) Patel

BACKGROUND: Attracting a microbrewery to downtown Bartlett has been one of the targeted businesses for many years.

Meanwhile, brothers and village residents Sunny and Perry Patel launched MORE Brewing in Villa Park in 2015.

Due to many factors including their commitment to providing the highest quality product and customer service, employing a dedicated and proficient staff, being flexible and regularly updating their offerings, MORE Brewing quickly became so popular that they expanded their business to an expansive space in Huntley.

Meanwhile, village staff began engaging with Sunny and Perry in an effort to identify an ideal location for them to expand into. This occurred at around the time that the former Lucky Jack's location was obtained and demolished by the village, setting the stage for them to obtain a high-profile site in the heart of downtown Bartlett.

In meetings with the MORE team, the village's economic development team negotiated a land sale, sales tax rebate, and provided a BEDA application.

BEDA APPLICATION:

Already well underway, MORE Brewing's 17,325 SF facility will be a two-story microbrewery and full restaurant featuring a second story walk-out rooftop with a full basement.

It will include a ten-barrel brewhouse which will allow for research and development of new beers as demand in the market changes. Taproom operations will encompass 10,000 SF between two levels of seating space amounting to 160+ taproom seats. An extended season (with radiant in-ground heating) will allow for an additional 60 seats.

The applicants have provided a highly-detailed business plan, demonstrating the precision and planning that goes into operating their highly successful business, in addition to an estimate from Purohit Architects totaling over \$4.4 million. That figure includes contingency costs, working capital, and professional design fees of \$135,000, which are not considered eligible costs in the BEDA program.

With those excluded, the project still amounts to at least \$3.6 million in construction costs, making it one of the largest investments in downtown Bartlett for many years. The only comparable investment in the past fifteen years was the purchase and renovation of Bartlett Plaza to the Streets of Bartlett.

RECOMMENDATION:

Staff recommends the maximum BEDA grant amount of **\$50,000**, which amounts to one to one-and-a-quarter percent of the total project costs (excluding the land purchase).

We have continued communicating with the Patel brothers throughout the process of this project, which is trending towards becoming costlier than the attached estimates due to current economic conditions.

Village of Bartlett Economic Development Assistance Application

Applicant Information:

Applicant(s) Name SACHIN PATEL

Applicant(s) Address: 126 ~~WILLOW~~ BENNINGTON LN BARTLETT

E-Mail Address: SUNNY@MOREBREWING.COM

Primary Contact for Project: PERRY PATEL

Cell Phone Number and/or Home Number: 847.

Applicant is or will be (check all that apply) Tenant Property Owner

Number of Years in Business: 23 Number of Years in Bartlett: 12

Contact Name and Information for Applicant's Agent or Architect (if any):

HEMAL PUROHIT 847-942-8777

(Note: if applicant is a tenant, attach a letter from the property owner granting permission for project)

Property Information:

Project Property Location/Address: 121 W. RAILROAD AVE

This Property is (check all that apply): Retail Restaurant Office

Other (explain)

Number of Businesses on Site: NEW BUSINESS

Names of Other Businesses on Site: NONE

Size of Building (dimensions or total square feet) 18000.00

Stories in building: 2 With Basement Parking spaces on property: 0

Last Real Estate Taxes Paid: \$2537.30

Property Tax Index Number(s) (PIN): 06-34-409-001-0000

County: Cook DuPage Kane

Project Information:

Total Anticipated Project Cost: \$ 4407,151.35

Project Scope: Describe and identify all exterior/interior improvements proposed (Use additional paper if necessary to fully describe proposed project)

New Construction

If approved, estimated project completion date: 11/25/2022

Business Plan: For new business ventures, please include a two- to five-page business plan. Contact Tony Fradin with questions about the seven elements of a strong plan.

Please Attach: Contractor Estimates, Receipts; Copies of both sides of cancelled checks, credit card statements or bank accounts from which materials were purchased and contractors paid; Waivers of Lien

[REDACTED]

Application Statement (Read and Sign Below)

I hereby make application to participate in the Bartlett Economic Development Assistance (BEDA) program. In making this application I understand that the purpose of BEDA is to help encourage and leverage private investment in the Village's business community and help my business bring an underperforming property into more productive use.

I understand that prior to commencing any work, the Village must first approve both my participation and proposed scope of work for the project. Applicants must meet with Economic Development staff prior to paying for improvements in order to review how much, if any, the Village may reimburse for the project.

I understand that all improvements made through the help of BEDA must be in accordance with all Village plans and codes. Moreover, as a condition of approval, I understand the Village may require changes to the scope of work I am proposing. I further understand that any work started or completed prior to approval of the project and my participation in the BEDA program is not eligible for reimbursement.

In making this application, I understand that the BEDA program is competitive, funds are limited and selection for participation is at the sole discretion of the Village of Bartlett. I understand that the Village will review my application and at the Village's discretion may reject or approve my participation in the program. I recognize that a project that enhances the Village's business climate by returning an underutilized property into economic productivity, increases local employment opportunities and includes a larger percentage of private investment than public stands a greater chance of being funded by the Village.

I also understand that if selected for this program, the Village will establish a maximum grant award for the project

I further acknowledge that BEDA operates as a rebate program and, therefore, if selected for participation, Village funds will be disbursed to me at the conclusion of the work, after submittals by me of copies of all bills and satisfactory evidence of their payment, either by lien waivers or bills stamped "Paid" by all contractors. I understand that the actual rebate amount will be calculated at some percentage as recommended by staff in relation to the documented actual costs by me for eligible expenses to complete the agreed upon improvements, up to the maximum grant amount awarded by the Village for the project.

By signing this application, I hereby acknowledge that I have read the above statement and understand these important features about the BEDA Program.



Applicant Signature

8/31/2022

Date



Return this completed application with attachments to:
Tony Fradin, Economic Development Coordinator
Village of Bartlett
228 S. Main Street
Bartlett, IL 60103

MORE

BREWING COMPANY



Proposed Bartlett Brewpub

Business Plan

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Overview

More Brewing Company (MBC) has quickly established itself as an emerging leader throughout the craft beer market, gaining national attention with prestigious 2017, 2018, 2019, 2020 and 2021 awards . Rapid growth and high consumer demand has created the need for expansion. Currently in operation is a 10-barrel brewpub located in diverse Villa Park, IL and a 30-barrel production & brewpub facility located in Huntley, IL. MBC has drastically grown in our current communities allowing us to open a third location with much anticipation in Bartlett, IL lager house location.

MBC's success is attributed to an award-winning, high quality, and highly differentiated product that provides endless value for the business. MBC's signature product line of skillfully crafted, in-demand craft beer allows for a dynamic competitive approach to gaining market share throughout the Chicagoland and Tri-state area. Additionally, MBC has developed a unique brand image that portrays a high degree of perceived value among craft beer consumers. MBC has distinguished itself as a premier brewery throughout the Midwest.

MBC looks to create a third neighborhood lager house to meet consumer demand and capitalize on their growth throughout 2020 and 2021. MBC positions to gain substantial market share, aiming to build out a 17,000 sq foot, two (2) story facility boasting a second story walk-out rooftop with a full basement in Bartlett, IL, a rarity in the western suburbs. Production levels for the first year of MBC's Bartlett lager house are estimated to be 500 barrels; current plans ensure ample room to grow as distribution reach and brand awareness expands.

With the creation of our Bartlett brewhouse, MBC is poised to have a facility that focuses on the trends in the craft brewing industry. The then (10) barrel brewhouse will allow MBC to research and develop new beers as demands, such as the explosion of craft lagers, in the market change.

Company culture and community involvement are also part of MBC's competitive advantage over the competition. Current company values lie heavily in the ideals of craftsmanship, team work, and personal development. Here at MBC we consider our team members family and currently have over 100 family members. Input from our family members helps to provide an exceptional guest experience which drives all actions and decisions. With our namesake being an ode to the Village of Villa Park (originally named Ardmore), MBC prides itself on being responsible corporate citizens. We plan to develop strong local business and communal relationships surrounding the location of Bartlett brewpub.

MBC's marketing strategy has shifted in the past six (6) months boasting over 29,000 social media followers across numerous platforms. MBC will further drive demand through strategic advertising/promotional programs and events focused on brand growth. This organic and consistent approach towards reaching our targeted market segments of beer connoisseurs, novice craft beer enthusiasts, and young business professionals will drive brand awareness and image. Our authentic and dynamic methods of capturing these segments will lead to strong emotional and genuine ties to our brand.

Bartlett brewpub is targeting partial first year sales of \$808,000 and a full second year annual sales of \$4,930,000 with an additional \$10,200,000 coming from the current brewpub and production facility already in operation. With the combination of a new production facility and two taprooms, More Brewing Company further establishes their presence in the craft beer industry with three locations for patrons to visit.

Objectives

More Brewing Co's Bartlett brewhouse will help the brand create and develop new products to test at scale. Having a French (10) barrel brewhouse will allow MBC to create small batch beers to stay at the cutting edge of growing beer trends in the industry. With three taprooms, the ability to collect feedback from our external guests and internal family members will be pivotal in the addition of beer brands to its growing portfolio. From there, scaling up at either the Villa Park brewpub or Huntley Production Facility will allow for a quick transition to package beer to be sold on premises and distribution.

In addition to expanding MBC's research and development program, serving the community of Bartlett and surrounding areas with a local brewery experience is paramount to growing the brand. Being a commuter town, with access to a Metra stop only steps away from the front door, the Bartlett brewpub will draw from the far west suburbs all the way to the city Chicago.

Primary Objectives

- Create our R&D program
- Focus on industry trends around consumption of hard selters and lagers
- Provide a brand new experience to downtown Bartlett
- Creating an anchor for the downtown Bartlett area to grow
- Create a sense of community around the MBC brand

Mission Statement

Robust imperial stouts, unfiltered hop saturated pale ales, a robust offering of craft lagers and our barrel program serve as the foundation for a dynamic, team member and consumer focused business culture. More Brewing Company prides ourselves on being an industry leader with a vibrant, high quality beer program and loyal consumer base. Our success is founded in our diverse team that enables us to maintain a unique competitive advantage in a dense marketplace. Our growth is secured through investment in human capital and awareness of industry trends.

Keys to Success

The key to success and objective completion is effective widespread product distribution, quality dining options and brand awareness. This will be achieved through the implementation of various marketing strategies. These strategies include grass roots social media campaigns, search engine optimization, off-site events, and appearances at nationally recognized industry events and competitions. Building a unique menu not offered at any brewpub in the Chicagoland area and executing on our already stellar core menu items are what build the brand. Efficient success through the addition of our Bartlett brewpub will rely on the following key factors:

- Strong emphasis on fulfilling consumer demand
- Effective and efficient distribution network
- Positive and distinguished brand image
- High visibility in the Midwestern craft beer market
- Well designed two story brewpub that serves a destination for loyal patrons
- Creation of unique seasonal menus

Company Ownership

More Brewing Company is a privately held company incorporated in the state of Illinois. Through foresight and vision, Mr. Sachin Patel & Mr. Purvish Patel over the past 21 years of being in the craft beer industry, has been able to build the More Brewing Company brand into one of the most widely recognizable craft breweries in the Chicagoland area. They have shown they are capable of building strong relationships with other retail stores as well as distributors throughout the midwest region. Sachin and Purvish will be moving forward on this project with his experienced team made up of his Head Brewer: David Ziebell, Brewer: John Monaco, Brewery Operations Manager: Aaron Keefner, Executive Chef: Christopher Minor, Regional General Manager, Ross Davis & General Managers Tom Steinhable (Huntley), Katie Geary (Bartlett).

Location

Bartlett brewpub will serve as more than a cookie-cutter brewpub, Bartlett lager house will be a destination. With nothing remotely close to the Bartlett lager house throughout the entire Chicago metropolitan market, Bartlett lager house will quickly stand out as a unique and diverse destination for food, beer, entertainment, and socializing. MBC has secured a prime location in downtown Bartlett, which will be built ground-up to give patrons a true sense of being somewhere special. This property located at 125 W Railroad Ave in Bartlett, IL will have over 17,000 sq feet on multiple levels designed to create a warm and welcoming atmosphere to guests and their families.

The Chicago market has never experienced this type of facility solely designed for one of the largest growing consumer market segments. Bartlett lager house will be a family-friendly gathering point offering all the amenities that lead to a memorable experience. Bartlett, IL has been chosen as our ideal production facility location for several strategic reasons which are all listed below.

- Located across from the downtown Bartlett Metra station
- Budding, business-friendly Village
- Village of Bartlett has experienced over 10% population growth since 2000

- Town demographic supports our core consumer

Primary Purpose

The primary purpose of the proposed Bartlett lager house is to create a destination for craft beer consumers living within a thirty (30) minute drive or forty five (45) minute train ride. With our planned taproom space serving upscale new-American pub food paired with ample second level outside patio and gathering space, Bartlett brewpub will be able to serve the community as a date night, family gathering or beer connoisseur destination. The feel of the space will be that of a modern, refined farmhouse theme—similar to MBC’s Villa Park location, but a touch more refined. The Bartlett lager house will have a greater focus on open-concept seating and efficient use of space. The taproom will be made complete with an entirely separate area for retail and to-go beer sales.

Taproom operations will encompass 10,000 sq ft between two levels of seating space amounting to 160+ taproom seats. An extended season (in-ground radiant heating) up-stairs patio will have room for an additional 60 seats. Careful design features will allow for mixed-use of our indoor/outdoor areas so large parties could be held in the same space if needed. Taproom operations would include a 2,000+ sq ft kitchen, two (2) 20 person bars w/ 30 taps each, retail space, bathrooms, storage, and employee break area.

Organization Structure & Culture

The proposed Bartlett lager house will move forward with the guidance and expertise of MBC’s current leadership team. Mr. Sachin Patel as the company owner leads two (2) General Managers, a Brewing Production Manager and Head Brewer. All four individuals have extensive experience in the service and craft beer industries with over 35 years of diverse industry experience. Mr. David Ziebell, Head Brewer has grown under the leadership of our former Head Brewer. Mr. Ziebell boasts over 5 years of production brewing experience with a focus on recipe creation and team development. Mr. Aaron Keefer, Brewer Production Manager has grown under the Revolution Brewing and Goose Island brands over 8 years before joining MBC. Mr. Keefner oversees daily brewery facility operations, marketing, distribution, and all human resource aspects of the company. Mr. Keefner will oversee seven (7) Full-Time brewery employees to include an Area Sales Manager. Mr. Thomas Steinhable has a wealth of service industry experience. Mr. Steinhable brings 10years of industry leadership and a passion for craft beer to his position as General Manager at MBC’s Huntley

Production Facility, overseeing sixty-five (65) employees. Mr. Ross Davis has over 16 years of leadership experience and in his most recent position prior to MBC, he oversaw 4 Chicagoland retail stores specializing in training and development of leaders supported by him. Mr. Davis has been an avid home brewer for over 4 years and brings with him a wealth of leadership tools for developing strong managers, capable of promoting MBC's culture and guest experience.

Placing a strong emphasis on teamwork, personal development, and quality, MBC has cultivated a deep-rooted workplace culture that breeds excellence. This culture will be further carried on through another brewer, quality control specialist, production supervisor, taproom management, and marketing team. The combined effort of these individuals will secure the growth and continued success of their new facility and MBC.

Marketing

Once groundbreaking begins for the Bartlett lager house, MBC is positioned to immediately start growing brand awareness throughout the Chicago market. This eight (8) month lead time on establishing brand awareness in and around the Bartlett area will present a unique advantage to MBC. This will be accomplished under the leadership of a marketing manager and focus largely on brand image and awareness. This will be accomplished through attendance of beer events and competitions, grass-roots social media campaigning, tap take-overs, all driving potential consumers to our website and current Villa Park & Huntley locations.

Competition

The craft beer industry has become a dense marketplace with numerous competitors throughout the Chicagoland market. Our direct competition is other small (<15bbl system) breweries that also focus on specialized brews not readily available in the Chicago market. We see only a handful direct competitors in our market currently each with severe production and execution limitations. The number of indirect competitors is much greater when competing with larger breweries. We currently differentiate ourselves with our unique product line. Our product line is unique because we produce complex and specific beer styles that are not easily duplicated. Currently, our indirect competitors are focused on different beer styles and different branding strategies. Breweries seen as direct competition are attempting to produce similar styles as MBC, yet fall short as shown with competition

medals and social media ratings. Bartlett lager house would help MBC gain market share at this critical shift in the industry pertaining to the growth of seltzers and craft lagers over the past eighteen (12) months by capitalizing on our superior execution of these much sought-after seltzer and craft lager styles.

MBC has a distinctive competitive advantage over our competitors not only for our beer, but for our brand and team. MBC maintains a well-respected and positive brand image that is impossible to reproduce. Over 29,000 social media followers on Instagram and over 180,000 *Untappd* check-ins in 18 months show an engaged and thirsty consumer base. MBC has worked diligently to build and maintain a positive and structured workplace environment that captures the full potential of every team member. This strategy ensures quality adherence, provides consistent experiences, and helps us stay ahead of industry trends.

Pricing

Pricing will vary depending on means of consumption. Consumption of our products at our taproom will average \$.40 cents an ounce. Consumption of our products from a third-party draft account will cost the consumer a similar average per ounce, but be sold to distributors at \$.15 cents an ounce. Consumption of our product from a container (can or glass) would average .23 cents an ounce. All of these are weighted and averaged to .26 cents.

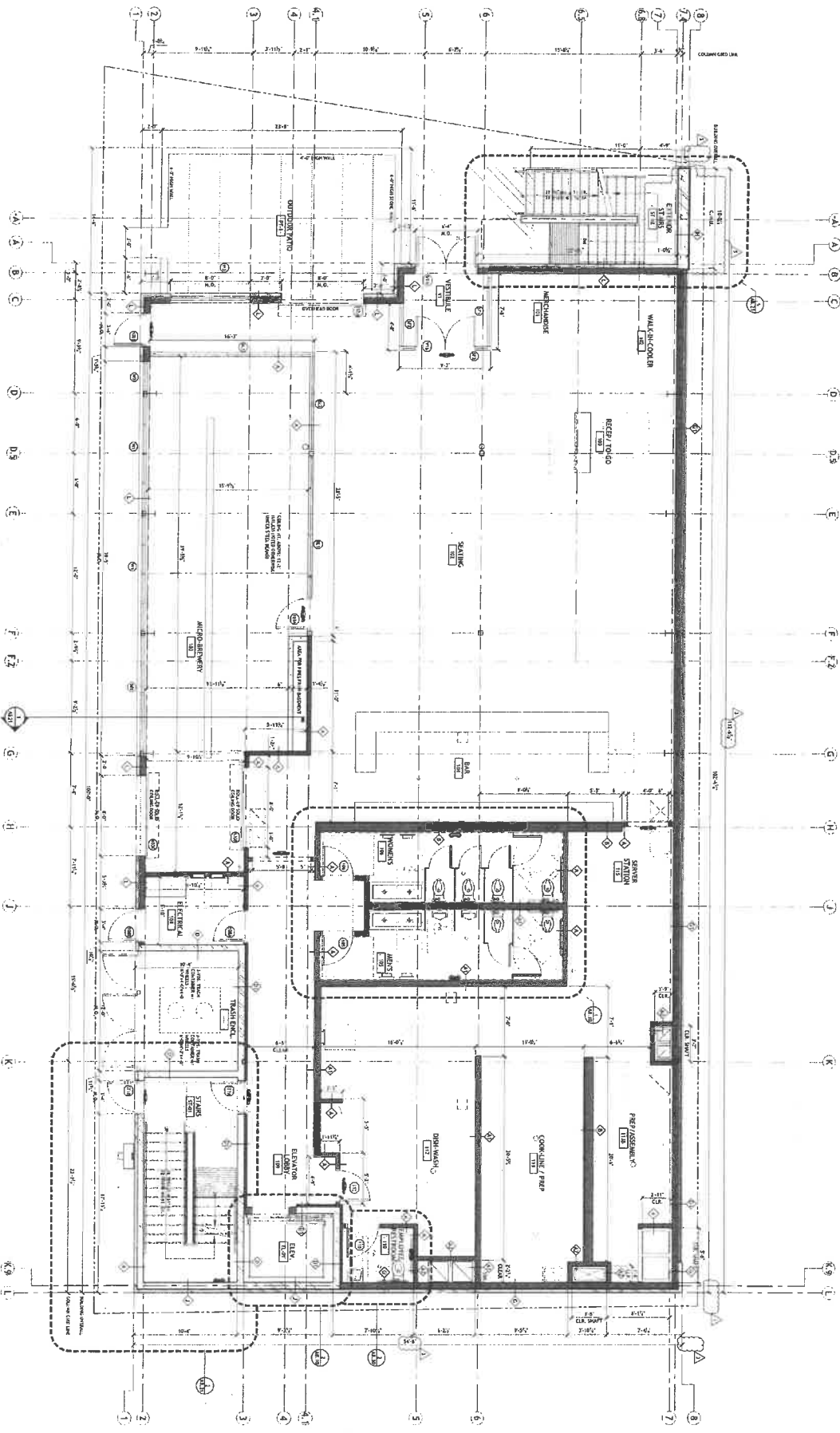
All of our prices will reflect that our premium product is more expensive to make. We believe these higher than industry prices help protect and distinguish our brand. These price points allow us to maintain our reputation for using high quality ingredients.

Summary

More Brewing Company seeks to expand their current business model to open a third location, further solidifying MBC's presence in the greater Chicagoland market. Currently, the award-winning brewery is beating projected sales, post pandemic and is looking to create a unique experience at the Bartlett brewpub that is unmatched in the western suburbs. This expansion project is estimated at ~\$4,407,151.00 and will provide MBC the capability to meet consumer demands and respond to market trends for the next 10 years. MBC has become a local staple Western Chicagoland residents and a nationally-renowned

beer brand. This Bartlett lager house project will allow this young, inspired, and bright company to reach its full potential.

FIRST FLOOR PLAN-CONSTRUCTION



PROPOSED 1ST FLOOR PLAN
A3.01
 PM PROJECT NUMBER
 2128209

MORE BREWING COMPANY

Proposed New 2-Story Building with Basement for
MoRE Brewing Company
 121 W. Railroad Avenue, Bartlett, IL
 (Intersection of S. Oak Avenue & W. Railroad Avenue)

PA PURDITT ARCHITECTS
 101 W. 23rd Street
 Suite 200
 Chicago, IL 60616
 Tel: (773) 327-1100
 Fax: (773) 327-1101
 www.purditt.com

Document Record:

NO.	DATE	DESCRIPTION
1	11/11/11	PROPOSED 1ST FLOOR PLAN
2	11/11/11	PROPOSED 2ND FLOOR PLAN
3	11/11/11	PROPOSED BASEMENT PLAN
4	11/11/11	PROPOSED MECHANICAL PLAN
5	11/11/11	PROPOSED ELECTRICAL PLAN
6	11/11/11	PROPOSED PLUMBING PLAN
7	11/11/11	PROPOSED STRUCTURAL PLAN
8	11/11/11	PROPOSED EXTERIOR ELEVATIONS
9	11/11/11	PROPOSED INTERIOR ELEVATIONS
10	11/11/11	PROPOSED SECTION CUTS
11	11/11/11	PROPOSED SITE PLAN
12	11/11/11	PROPOSED LANDSCAPE PLAN
13	11/11/11	PROPOSED SIGNAGE PLAN
14	11/11/11	PROPOSED ACCESSIBILITY PLAN
15	11/11/11	PROPOSED ENERGY EFFICIENCY PLAN
16	11/11/11	PROPOSED SUSTAINABILITY PLAN
17	11/11/11	PROPOSED SECURITY PLAN
18	11/11/11	PROPOSED FIRE SAFETY PLAN
19	11/11/11	PROPOSED ASBESTOS ABATEMENT PLAN
20	11/11/11	PROPOSED LEAD ABATEMENT PLAN
21	11/11/11	PROPOSED MOLD ABATEMENT PLAN
22	11/11/11	PROPOSED RADON ABATEMENT PLAN
23	11/11/11	PROPOSED AIR QUALITY PLAN
24	11/11/11	PROPOSED SOUND ABATEMENT PLAN
25	11/11/11	PROPOSED VIBRATION ABATEMENT PLAN
26	11/11/11	PROPOSED LIGHTING PLAN
27	11/11/11	PROPOSED HVAC PLAN
28	11/11/11	PROPOSED WATER SUPPLY PLAN
29	11/11/11	PROPOSED SEWER PLAN
30	11/11/11	PROPOSED GAS PLAN
31	11/11/11	PROPOSED TELEPHONE PLAN
32	11/11/11	PROPOSED DATA PLAN
33	11/11/11	PROPOSED CLOUD PLAN
34	11/11/11	PROPOSED RAINWATER HARVESTING PLAN
35	11/11/11	PROPOSED GREEN ROOF PLAN
36	11/11/11	PROPOSED PERMEABLE PAVEMENT PLAN
37	11/11/11	PROPOSED BIODEGRADABLE PLASTIC PLAN
38	11/11/11	PROPOSED RECYCLED MATERIAL PLAN
39	11/11/11	PROPOSED LOCAL SOURCING PLAN
40	11/11/11	PROPOSED CARPOOLING PLAN
41	11/11/11	PROPOSED BICYCLE PLAN
42	11/11/11	PROPOSED PUBLIC TRANSPORTATION PLAN
43	11/11/11	PROPOSED WALKING PLAN
44	11/11/11	PROPOSED BIKING PLAN
45	11/11/11	PROPOSED CARPOOLING PLAN
46	11/11/11	PROPOSED BICYCLE PLAN
47	11/11/11	PROPOSED PUBLIC TRANSPORTATION PLAN
48	11/11/11	PROPOSED WALKING PLAN
49	11/11/11	PROPOSED BIKING PLAN
50	11/11/11	PROPOSED CARPOOLING PLAN

APPENDIX A:

More Brewing Co. Bartlett, IL

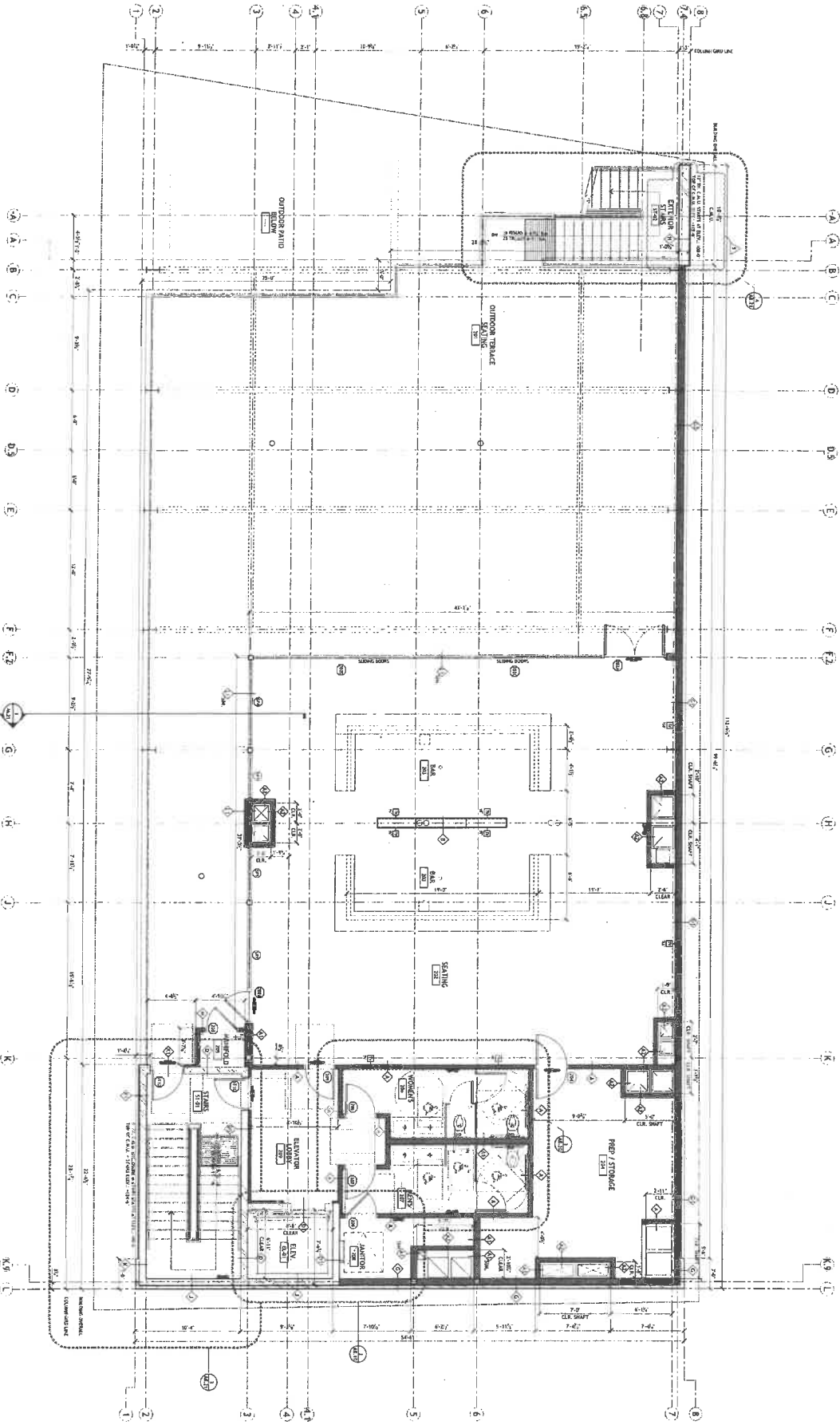
Design-Build Project Construction Cost:

Professional Design Fees (Architect & Engineers)	\$135,000.00
Masonry (Brick, stone & Concrete Block Masonry) 7 star Construction Masonry	\$108,435.00
Alpha Brewing (Brewery Equipment)	\$339,007.00
General Requirements (General conditions, overhead, security, etc.) Driven Fence	\$3,017.00
Conveying Equipment (Elevator, Dumb Waiter) Chicago Elevator & Lifts	\$92,770.00
Concrete (Concrete, re-bar, back fill) Eagle Concrete	\$422,530.00
Electrical (Service, Switch board, panel boards, distribution, Power & Lighting) Lauderdale	\$288,990.00
Structural & Misc. Steel Supplier & Fabrication - Mechanical Steel	\$667,500.00
Sheet Piling & earth retention Michels Shoring	\$25,000.00
Kitchen Hood, exhaust, make-up air, Ansul system - Captiv Air	\$89,323.00
Schnider Excavation - 121 W. Railroad	\$165,041.00
Schnider Excavation - Staging Lot	\$9,736.00
CBM Plumbing	\$280,000.00
Sub-Total	\$2,726,349.00
Screening On Roof for Mechanical units	\$10,000.00
Roofing, sheet metal & flashing	\$28,000.00
Kitchen Equipment (excluding Hood, KEF, MUA)	\$110,000.00
HVAC (includes Permit Fees for Ansul System)	\$160,000.00
Fire Alarm System (includes Permit Fees)	\$25,000.00
Fire Sprinkler System (includes Permit Fees)	\$45,000.00
Furniture (allowance)	\$37,000.00
Flooring	\$60,000.00
Beer tower Micromatic	\$45,000.00
Painting & taping	\$20,000.00
Carpenter, insulation & wall sheathing	\$200,000.00
Opening Door/ windows	\$100,000.00
Tile work	\$15,000.00
Coolers	\$50,000.00
Leader	\$10,000.00
Exterior Signage (includes Permit fees)	\$15,000.00
Counter-tops	\$15,000.00
Landscaping	\$5,000.00
POS	\$12,000.00
Networking	\$5,000.00
Sound System	\$10,000.00
Trash Enclosure	\$5,000.00
Camera System	\$7,000.00
Bathroom Vanity	\$30,000.00

Sub Total		\$3,745,349.00
Contingency	15%	\$561,802.35
Working Capital		\$200,000.00
Total Project Cost		\$4,407,151.35



SECOND FLOOR PLAN- CONSTRUCTION
SCALE: 1/8" = 1'-0"



1

Proposed New 2-Story Building with Basement for
MoRE Brewing Company
121 W. Railroad Avenue, Bartlett, IL
(Intersection of S. Oak Avenue & W. Railroad Avenue)

IPA
PURDITT
ARCHITECTS
337 N. Wacker Drive, Suite 200
Chicago, IL 60606
Tel: (312) 467-1100
Fax: (312) 467-1101
www.purditt.com

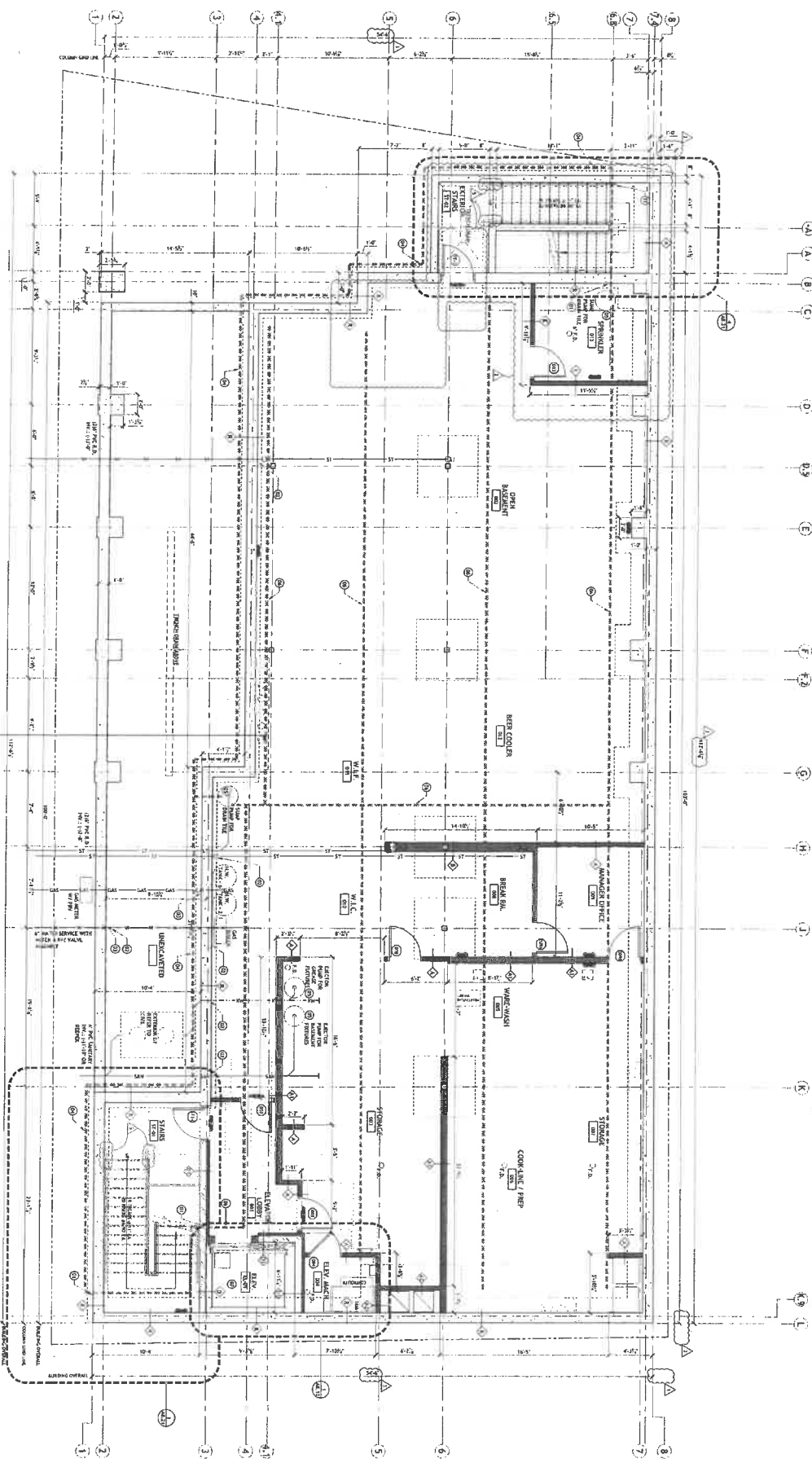
Document Record:
PROJECT: 121 W. RAILROAD AVENUE, BARTLETT, IL
DATE: 08/14/2013
DRAWN BY: J. B. PURDITT
CHECKED BY: J. B. PURDITT
DATE: 08/14/2013
PROJECT NO.: 121 W. RAILROAD AVENUE, BARTLETT, IL
SHEET NO.: 2 OF 2
SHEET TITLE: SECOND FLOOR PLAN- CONSTRUCTION
SCALE: 1/8" = 1'-0"

MORE
BREWING COMPANY
PROPOSED 2ND
FLOOR PLAN
A3.02
P&M PROJECT NUMBER
2118282



PROPOSED BASEMENT PLAN

DATE: 11/15/11



- REVISIONS**
1. REVISIONS TO THE DRAWING SHALL BE MADE BY THE ARCHITECT AND SHALL BE INDICATED BY A CIRCLED NUMBER AND A LETTER.
 2. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.
 3. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.
 4. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.
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 20. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN.

MORE BREWING COMPANY

PROPOSED BASEMENT PLAN

A3.00

DATE: 11/15/11

PROJECT NUMBER: 111111

Proposed New 2-Story Building with Basement for

MoRE Brewing Company

121 W. Railroad Avenue, Bartlett, IL
(Intersection of S. Oak Avenue & W. Railroad Avenue)

PA PURDITT ARCHITECTS

222 BRUNNEN STREET
BARTLETT, IL 60010
TEL: 630-341-1111
WWW.PAARCHITECTS.COM

Document Record:

1. 11/15/11 - PRELIMINARY BASEMENT PLAN
2. 11/15/11 - PRELIMINARY BASEMENT PLAN
3. 11/15/11 - PRELIMINARY BASEMENT PLAN
4. 11/15/11 - PRELIMINARY BASEMENT PLAN
5. 11/15/11 - PRELIMINARY BASEMENT PLAN
6. 11/15/11 - PRELIMINARY BASEMENT PLAN
7. 11/15/11 - PRELIMINARY BASEMENT PLAN
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18. 11/15/11 - PRELIMINARY BASEMENT PLAN
19. 11/15/11 - PRELIMINARY BASEMENT PLAN
20. 11/15/11 - PRELIMINARY BASEMENT PLAN

PUROHIT ARCHITECTS, INC.

Architects & Planners

251 Bradwell Rd., Inverness, IL 60010

(O) 847-220-8037; (C) 847-942-8777

Email: info@purohitarchitects.com

www.purohitarchitects.com

Sent Via Email: sunny@morebrewing.com
perry@morebrewing.com

THE PROJECT AND LOCATION:

More Brewing Company

New 2-Story with full Basement Commercial Building for new micro-brewery with Restaurant at:

121 W. Railroad Ave., Bartlett, IL

(Intersection of W. Railroad Ave. & Oak Ave.)

DATE:

March 28, 2022

AGREEMENT BETWEEN (GENERAL CONTRACTOR / G.C.):

PUROHIT ARCHITECTS, INC.

251 Bradwell Rd., Inverness, IL 60010

AND (CLIENT):

More Dusty, LLC

Attn.: Mr. Urvish & Sunny Patel Owner(s)

13980 Automall Drive, Huntley, IL 60142

Phone: (847) 668-7613

Thank you for your interest in Purohit Architects!

In accordance with our in-person communication (s) and via email; we are pleased to submit this agreement for providing all services related to the General Contracting (the G.C.) for new More Micro Brewery at the above-mentioned location.

Project Specifics:

Current Zoning District:	B-1 Village Center District
Existing Property Area:	(+/-) 7,200 Sq Ft
Proposed 1 st floor:	(+/-) 105' x 55' = 5,775 Sq Ft
Proposed 2 nd floor:	(+/-) 105' x 55' = 5,775 Sq Ft
Proposed Basement:	(+/-) 105' x 55' = 5,775 Sq Ft (for Storage Only)
Total Building floor area:	(+/-) 17,325 Sq Ft

BASIC SCOPE OF SERVICES:

It is understood that the proposed development shall consists of new approx. 17,325 Sq Ft of Total 1st, 2nd floors with full basement serving More Brewing Company. Following is the basic scope of services included:

- **New 2-story facility for micro-brewery & restaurant:** The GENERAL CONTRACTOR shall provide all required construction work per the local jurisdiction(s) approved drawings as a result of the plan review and building permit process. This contract includes all material(s) and labor for all disciplines as included in the following fee schedule. The GENERAL CONTRACTOR shall be responsible for getting a certificate of occupancy to the CLIENT after providing the substantial completion of the construction project.

EXCLUSIONS (NOT INCLUDED):

- All jurisdiction related fees by the CLIENT.

FEE SCHEDULE:

The CLIENT agrees to pay the GENERAL CONTRACTOR the LUMP SUM FEE of \$ 4,407,151.35 to perform the Services as stated above. Breakdown of the services are as follows as shown on an attached Appendix A. A balance from Contingency & working capital shall be returned to the CLIENT at the last draw.

PAYMENT SCHEDULE:

All payments shall be requested with a monthly draw in accordance with an understanding developed with the CLIENT. Number of monthly draws to be decided in close consultation with the CLIENT at a later date.

Payments are due to the GENERAL CONTRACTOR, and payable 30 days from the date of an approved draw. The GENERAL CONTRACTOR shall retain the right to suspend all or part of its services without liability to CLIENT for such action when outstanding balances remain for more than 30 days after the draw approval date.

This proposal is valid only for 30 calendar days from the proposal date of (Mar. 28th, 2022). Once executed, this contract is only valid for above-described work and is not valid for any other similar work. Pricing in this contract is also only valid for above-described work and is not transferable to other similar work.

GENERAL TERMS & CONDITIONS:

- **LIMITATION OF LIABILITY:** The CLIENT agrees, to the fullest extent permitted by law, to limit the liability of the GENERAL CONTRACTOR to the CLIENT for all claims, losses, costs, expenses, or damages of any nature whatsoever, including attorney's fees and costs, from any cases, so that the total aggregate liability of the GENERAL CONTRACTOR to the CLIENT shall not exceed the GENERAL CONTRACTOR'S total fee received for services rendered on this project. It is intended that this limitation or causes of action however alleged or arising, unless otherwise specifically prohibited by law.
- **CLIENT PROVIDED INFORMATION:** The GENERAL CONTRACTOR shall be entitled to rely on the accuracy and completeness of any information provided to the GENERAL CONTRACTOR by the CLIENT. The GENERAL CONTRACTOR shall not review said information for inaccuracies or completeness.
- **HAZARDOUS MATERIALS:** The GENERAL CONTRACTOR assumes no responsibility or liability for the discovery or removal of any hazardous substance found at the jobsite.
- **DISPUTE RESOLUTION:** Any dispute under this contract shall be subject to mediation as a condition precedent to litigation.

AGREED TO AND ACCEPTED BY:

All conditions and services as set forth in this Agreement are hereby agreed to. The GENERAL CONTRACTOR shall commence with the services as outlined above on a schedule as mutually agreed to by the CLIENT and the GENERAL CONTRACTOR.

GENERAL CONTRACTOR'S Acceptance:

CLIENT'S Authorization:

Hemal Purohit

PUROHIT ARCHITECTS, INC.

Hemal Purohit, Vice President

March 28, 2022

Signature (Print Name and Title) (Date)

[Handwritten Signature]
Signature (Print Name and Title)

3/27/2022

(Date)

PUROHIT ARCHITECTS, INC.
Architects & Planners

251 Bradwell Rd., Inverness, IL 60010
(O) 847-220-8037; (C) 847.942-8777
Email: info@purohitarchitects.com
www.purohitarchitects.com

Sent Via Email: sunny@morebrewing.com
peny@morebrewing.com

THE PROJECT AND LOCATION:

More Brewing Company
New 2-Story with full Basement Commercial Building for
new micro-brewery with Restaurant at:
121 W. Railroad Ave., Bartlett, IL
(Intersection of W. Railroad Ave. & Oak Ave.)

DATE:

June 7, 2022

AGREEMENT BETWEEN (GENERAL CONTRACTOR / G.C.):

PUROHIT ARCHITECTS, INC.
251 Bradwell Rd., Inverness, IL 60010

AND (CLIENT):

More Dusty, LLC
Attn.: Mr. Purvish & Sunny Patel Owner(s)
13980 Automall Drive, Huntley, IL 60142
Phone: (847) 668-7613

Thank you for your interest in Purohit Architects!

In accordance with our in-person communication (s) and via email; we are pleased to submit this agreement for providing all services related to the General Contracting (the G.C.) for new More Micro Brewery at the above-mentioned location.

Project Specifics:

Current Zoning District:	B-1 Village Center District
Existing Property Area:	(+/-) 7,200 Sq Ft
Proposed 1 st floor:	(+/-) 105' x 55' = 5,775 Sq Ft
Proposed 2 nd floor:	(+/-) 105' x 55' = 5,775 Sq Ft
Proposed Basement:	(+/-) 105' x 55' = 5,775 Sq Ft (for Storage Only)
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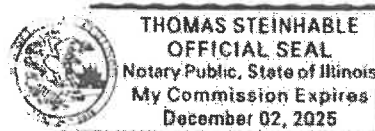
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EXCLUSIONS (NOT INCLUDED):

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SEE SCHEDULE:




Page 1 of 5

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CLIENT'S Authorization:

Hemal Purohit

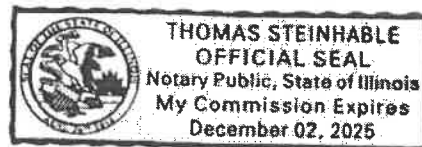
PUROHIT ARCHITECTS, INC.

Hemal Purohit, Vice President June 7, 2022

Signature (Print Name and Title) (Date)

[Signature]

Signature (Print Name and Title) (Date)



PUROHIT ARCHITECTS, INC.

Architects & Planners

251 Bradwell Rd., Inverness, IL 60010

(O) 847-220-8037; (C) 847-942-8777

Email: info@purohitarchitects.com

www.purohitarchitects.com

Sent Via Email: sunny@morebrewing.com
perry@morebrewing.com

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(Intersection of W. Railroad Ave. & Oak Ave.)

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AND (CLIENT):

VOID

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Phone: (847) 668-7613

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VOID

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VOID

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Void

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This proposal is valid only for 30 calendar days from the proposal date of (Mar. 28th, 2022). Once executed, this contract is only valid for above-described work and is not valid for any other similar work. Pricing in this contract is also only valid for above-described work and is not transferable to other similar work.

GENERAL TERMS & CONDITIONS:

- **LIMITATION OF LIABILITY:** The CLIENT agrees, to the fullest extent permitted by law, to limit the liability of the GENERAL CONTRACTOR to the CLIENT for all claims, losses, costs, expenses, or damages of any nature whatsoever, including attorney's fees and costs, from any cases, so that the total aggregate liability of the GENERAL CONTRACTOR to the CLIENT shall not exceed the GENERAL CONTRACTOR'S total fee received for services rendered on this project. It is intended that this limitation or causes of action however alleged or arising, unless otherwise specifically prohibited by law.
- **CLIENT PROVIDED INFORMATION:** The GENERAL CONTRACTOR shall be entitled to rely on the accuracy and completeness of any information provided to the GENERAL CONTRACTOR by the CLIENT. The GENERAL CONTRACTOR shall not review said information for inaccuracies or completeness.
- **HAZARDOUS MATERIALS:** The GENERAL CONTRACTOR assumes no responsibility or liability for the discovery or removal of any hazardous substance found at the jobsite.
- **DISPUTE RESOLUTION:** Any dispute under this contract shall be subject to mediation as a condition precedent to litigation.

AGREED TO AND ACCEPTED BY:

All conditions and services as set forth in this Agreement are hereby agreed to. The GENERAL CONTRACTOR shall commence with the services as outlined above on a schedule as mutually agreed to by the CLIENT and the GENERAL CONTRACTOR.

GENERAL CONTRACTOR'S Acceptance:

CLIENT'S Authorization:

Hemal Purohit

Void

Void
3/27/2022

PUROHIT ARCHITECTS, INC.
Hemal Purohit, Vice President

March 28, 2022

Signature (Print Name and Title) (Date)

[Signature]

Signature (Print Name and Title) (Date)

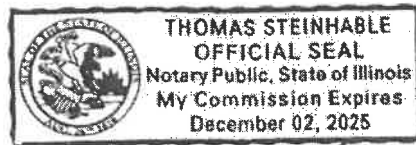
APPENDIX A:

More Brewing Co. Bartlett, IL
Design-Build Project Change Order

Flooring	\$60,000
Painting	\$20,000
Opening Door/ windows	\$100,000
Tile work	\$15,000
Landscaping	\$5,000
Trash Enclosure	\$5,000
Screening On Roof for Mechanical units	\$10,000
HVAC (includes Permit Fees for Ansul System)	\$185,000
Fire Alarm System (includes Permit Fees)	\$27,500
General Requirements (General conditions, overhead, security, etc.) Driven Fence	\$10,000
Isak Fire Protection Sprinkler System	\$44,764
Sprinkler System	
Total Project Cost	\$482,264.00
Total	\$482,264.00

SE
H.P.

PK



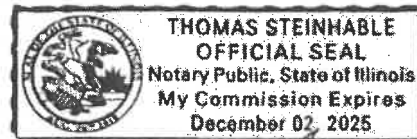
[Signature]

APPENDIX A:

More Brewing Co. Bartlett, IL
Design-Build Project Construction Cost: Invoices Provided

Professional Design Fees (Architect & Engineers)		\$90,000
Masonry (Brick, stone & Concrete Block Masonry) 7 star Construction Masonry		\$95,000
Conveying Equipment (Elevator,) Chicago Elevator & Lifts		\$90,500
Concrete (Concrete, re-bar, back fill) Eagle Concrete		\$395,000
Electrical (Service, Switch board, panel boards, distribution, Power & Lighting)		\$275,000
Structural & Misc. Steel Supplier & Fabrication - Mechanical Steel		\$555,000
Sheet Piling & earth retention Michel's Shoring		\$250,000
Schneider Excavation - 121 W. Railroad		\$169,736
CBM Plumbing		\$267,835
Roofing, sheet metal & flashing		\$28,000
ISAK Fire Protection Fire Sprinklers System (Includes permit Fees)		\$44,765
Carpenter, insulation & wall sheathing		\$164,500
Total Project Cost		\$2,425,336
Contingency	10%	\$233,534
	Total	\$2,658,870
Paid to Principal Construction		\$27,827
Paid to Purohit Architects		\$71,001.57
Paid for the Land		\$100,000.00

SA
H.P.





[Handwritten Signature]

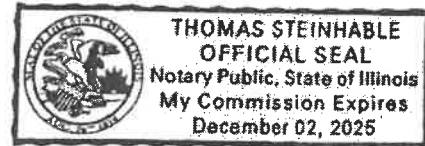
08.29.2022

To: Village Bank & Trust N.A

The attached contract between Purohit Architects Inc and More Busty LLC dated June 7, 2022 for \$2,658,870 is a working contract. Change order for \$482,264 is the working change order.


Sachin Patel, More Dusty LLC


Hemal Purohit, VP
Purohit Architects Inc





Sent Via Email: sunny@morebrewing.com
perry@morebrewing.com

THE PROJECT AND LOCATION:

More Brewing Company
New 2-Story with full Basement Commercial Building for
new micro-brewery with Restaurant at:
121 W. Railroad Ave., Bartlett, IL
(Intersection of W. Railroad Ave. & Oak Ave.)

DATE:

June 1st, 2022

AGREEMENT BETWEEN (GENERAL CONTRACTOR / G.C.):

PUROHIT ARCHITECTS, INC.
251 Bradwell Rd., Inverness, IL 60010

AND (CLIENT):

VOID

More Dusty, LLC
Attn.: Mr. Purvish & Sunny Patel Owner(s)
13980 Automall Drive, Huntley, IL 60142
Phone: (847) 668-7613

Thank you for your interest in Purohit Architects!

In accordance with our in-person communication (s) and via email; we are pleased to submit this agreement for providing all services related to the General Contracting (the G.C.) for new More Micro Brewery at the above-mentioned location.

Project Specifics:

Current Zoning District:	B-1 Village Center District
Existing Property Area:	(+/-) 7,200 Sq Ft
Proposed 1 st floor:	(+/-) 105' x 55' = 5,775 Sq Ft
Proposed 2 nd floor:	(+/-) 105' x 55' = 5,775 Sq Ft
Proposed Basement:	(+/-) 105' x 55' = 5,775 Sq Ft (for Storage Only)
Total Building floor area:	(+/-) 17,325 Sq Ft

VOID

BASIC SCOPE OF SERVICES:

It is understood that the proposed development shall consist of new approx. 17,325 Sq Ft of Total 1st, 2nd floors with full basement serving More Brewing Company. Following is the basic scope of services included:

- **New 2-story facility for micro-brewery & restaurant:** The GENERAL CONTRACTOR shall provide all required construction work per the local jurisdiction(s) approved drawings as a result of the plan review and building permit process. This contract includes all material(s) and labor for all disciplines as included in the following fee schedule. The GENERAL CONTRACTOR shall be responsible for getting a certificate of occupancy to the CLIENT after providing the substantial completion of the construction project.

EXCLUSIONS (NOT INCLUDED):

- All jurisdiction related fees by the CLIENT.

FEE SCHEDULE:

The CLIENT agrees to pay the GENERAL CONTRACTOR the LUMP SUM FEE of **\$2520178.00** to perform the Services as stated above. Breakdown of the services are as follows as shown on an attached **Appendix A**. A balance from Contingency & working capital shall be returned to the CLIENT at the last draw.

VOID

PAYMENT SCHEDULE:

All payments shall be requested with a monthly draw in accordance with an understanding developed with the CLIENT. Number of monthly draws to be decided in close consultation with the CLIENT at a later date.

Payments are due to the GENERAL CONTRACTOR, and payable 30 days from the date of an approved draw. The GENERAL CONTRACTOR shall retain the right to suspend all or part of its services without liability to CLIENT for such action when outstanding balances remain for more than 30 days after the draw approval date.

This proposal is valid only for 30 calendar days from the proposal date of (June 1st, 2022). Once executed, this contract is only valid for above-described work and is not valid for any other similar work. Pricing in this contract is also only valid for above-described work and is not transferable to other similar work.

GENERAL TERMS & CONDITIONS:

- **LIMITATION OF LIABILITY:** The CLIENT agrees, to the fullest extent permitted by law, to limit the liability of the GENERAL CONTRACTOR to the CLIENT for all claims, losses, costs, expenses, or damages of any nature whatsoever, including attorney's fees and costs, from any cases, so that the total aggregate liability of the GENERAL CONTRACTOR to the CLIENT shall not exceed the GENERAL CONTRACTOR'S total fee received for services rendered on this project. It is intended that this limitation or causes of action however alleged or arising, unless otherwise specifically prohibited by law.
- **CLIENT PROVIDED INFORMATION:** The GENERAL CONTRACTOR shall be entitled to rely on the accuracy and completeness of any information provided to the GENERAL CONTRACTOR by the CLIENT. The GENERAL CONTRACTOR shall not review said information for inaccuracies or completeness.
- **HAZARDOUS MATERIALS:** The GENERAL CONTRACTOR assumes no responsibility or liability for the discovery or removal of any hazardous substance found at the jobsite.
- **DISPUTE RESOLUTION:** Any dispute under this contract shall be subject to mediation as a condition precedent to litigation.

AGREED TO AND ACCEPTED BY:

All conditions and services as set forth in this Agreement are hereby agreed to. The GENERAL CONTRACTOR shall commence with the services as outlined above on a schedule as mutually agreed to by the CLIENT and the GENERAL CONTRACTOR.

GENERAL CONTRACTOR'S Acceptance:

CLIENT'S Authorization:

X *Hemal Purohit*
PUROHIT ARCHITECTS, INC.
 Hemal Purohit, Vice President *VOID*
 June 1st, 2022

[Signature] *VOID*
 6/1/2022

Signature (Print Name and Title) (Date)

Signature (Print Name and Title) (Date)

PUROHIT ARCHITECTS, INC.
Architects & Planners

251 Bradwell Rd., Inverness, IL 60010
(O) 847-220-8037; (C) 847.942-8777
Email: info@purohitarchitects.com
www.purohitarchitects.com

Sent Via Email: sunny@morebrewing.com
perry@morebrewing.com

THE PROJECT AND LOCATION:

More Brewing Company
New 2-Story with full Basement Commercial Building for
new micro-brewery with Restaurant at:
121 W. Railroad Ave., Bartlett, IL
(Intersection of W. Railroad Ave. & Oak Ave.)

DATE:

June 7, 2022

AGREEMENT BETWEEN (GENERAL CONTRACTOR / G.C.):

PUROHIT ARCHITECTS, INC.
251 Bradwell Rd., Inverness, IL 60010

AND (CLIENT):

More Dusty, LLC
Attn.: Mr. Purvish & Sunny Patel Owner(s)
13980 Automall Drive, Huntley, IL 60142
Phone: (847) 668-7613

Thank you for your interest in Purohit Architects!

In accordance with our in-person communication (s) and via email; we are pleased to submit this agreement for providing all services related to the General Contracting (the G.C.) for new More Micro Brewery at the above-mentioned location.

Project Specifics:

Current Zoning District:	B-1 Village Center District
Existing Property Area:	(+/-) 7,200 Sq Ft
Proposed 1 st floor:	(+/-) 105' x 55' = 5,775 Sq Ft
Proposed 2 nd floor:	(+/-) 105' x 55' = 5,775 Sq Ft
Proposed Basement:	(+/-) 105' x 55' = 5,775 Sq Ft (for Storage Only)
Total Building floor area:	(+/-) 17,325 Sq Ft

BASIC SCOPE OF SERVICES:

It is understood that the proposed development shall consists of new approx. 17,325 Sq Ft of Total 1st, 2nd floors with full basement serving More Brewing Company. Following is the basic scope of services included:

- **New 2-story facility for micro-brewery & restaurant:** The GENERAL CONTRACTOR shall provide all required construction work per the local jurisdiction(s) approved drawings as a result of the plan review and building permit process. This contract includes all material(s) and labor for all disciplines as included in the following fee schedule. The GENERAL CONTRACTOR shall be responsible for getting a certificate of occupancy to the CLIENT after providing the substantial completion of the construction project.

EXCLUSIONS (NOT INCLUDED):

- All jurisdiction related fees by the CLIENT.

FEE SCHEDULE:

The CLIENT agrees to pay the GENERAL CONTRACTOR the LUMP SUM FEE of \$2658870.00 to perform the Services as stated above. Breakdown of the services are as follows as shown on an attached Appendix A. A balance from Contingency & working capital shall be returned to the CLIENT at the last draw.

Void

PAYMENT SCHEDULE:

All payments shall be requested with a monthly draw in accordance with an understanding developed with the CLIENT. Number of monthly draws to be decided in close consultation with the CLIENT at a later date.

Payments are due to the GENERAL CONTRACTOR, and payable 30 days from the date of an approved draw. The GENERAL CONTRACTOR shall retain the right to suspend all or part of its services without liability to CLIENT for such action when outstanding balances remain for more than 30 days after the draw approval date.

This proposal is valid only for 30 calendar days from the proposal date of (June 7, 2022). Once executed, this contract is only valid for above-described work and is not valid for any other similar work. Pricing in this contract is also only valid for above-described work and is not transferable to other similar work.

GENERAL TERMS & CONDITIONS:

- **LIMITATION OF LIABILITY:** The CLIENT agrees, to the fullest extent permitted by law, to limit the liability of the GENERAL CONTRACTOR to the CLIENT for all claims, losses, costs, expenses, or damages of any nature whatsoever, including attorney's fees and costs, from any cases, so that the total aggregate liability of the GENERAL CONTRACTOR to the CLIENT shall not exceed the GENERAL CONTRACTOR'S total fee received for services rendered on this project. It is intended that this limitation or causes of action however alleged or arising, unless otherwise specifically prohibited by law.
- **CLIENT PROVIDED INFORMATION:** The GENERAL CONTRACTOR shall be entitled to rely on the accuracy and completeness of any information provided to the GENERAL CONTRACTOR by the CLIENT. The GENERAL CONTRACTOR shall not review said information for inaccuracies or completeness.
- **HAZARDOUS MATERIALS:** The GENERAL CONTRACTOR assumes no responsibility or liability for the discovery or removal of any hazardous substance found at the jobsite.
- **DISPUTE RESOLUTION:** Any dispute under this contract shall be subject to mediation as a condition precedent to litigation.

AGREED TO AND ACCEPTED BY:

All conditions and services as set forth in this Agreement are hereby agreed to. The GENERAL CONTRACTOR shall commence with the services as outlined above on a schedule as mutually agreed to by the CLIENT and the GENERAL CONTRACTOR.

GENERAL CONTRACTOR'S Acceptance:

CLIENT'S Authorization:

Hemal Purohit

Void

PUROHIT ARCHITECTS, INC.

Hemal Purohit, Vice President

June 7, 2022

Signature (Print Name and Title)

(Date)

[Signature]

Signature (Print Name and Title)

(Date)

Sent Via Email: sunny@morebrewing.com
perry@morebrewing.com

THE PROJECT AND LOCATION:

More Brewing Company
New 2-Story with full Basement Commercial Building for
new micro-brewery with Restaurant at:
121 W. Railroad Ave., Bartlett, IL
(Intersection of W. Railroad Ave. & Oak Ave.)

DATE:

June 1st, 2022

AGREEMENT BETWEEN (GENERAL CONTRACTOR / G.C.):

PUROHIT ARCHITECTS, INC.
251 Bradwell Rd., Inverness, IL 60010

AND (CLIENT):

VOID

More Dusty, LLC
Attn.: Mr. Purvish & Sunny Patel Owner(s)
13980 Automall Drive, Huntley, IL 60142
Phone: (847) 668-7613

Thank you for your interest in Purohit Architects!

In accordance with our in-person communication (s) and via email; we are pleased to submit this agreement for providing all services related to the General Contracting (the G.C.) for new More Micro Brewery at the above-mentioned location.

Project Specifics:

Current Zoning District:	B-1 Village Center District
Existing Property Area:	(+/-) 7,200 Sq Ft
Proposed 1 st floor:	(+/-) 105' x 55' = 5,775 Sq Ft
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Proposed Basement:	(+/-) 105' x 55' = 5,775 Sq Ft (for Storage Only)
Total Building floor area:	(+/-) 17,325 Sq Ft

VOID

BASIC SCOPE OF SERVICES:

It is understood that the proposed development shall consists of new approx. 17,325 Sq Ft of Total 1st, 2nd floors with full basement serving More Brewing Company. Following is the basic scope of services included:

- **New 2-story facility for micro-brewery & restaurant:** The GENERAL CONTRACTOR shall provide all required construction work per the local jurisdiction(s) approved drawings as a result of the plan review and building permit process. This contract includes all material(s) and labor for all disciplines as included in the following fee schedule. The GENERAL CONTRACTOR shall be responsible for getting a certificate of occupancy to the CLIENT after providing the substantial completion of the construction project.

EXCLUSIONS (NOT INCLUDED):

- All jurisdiction related fees by the CLIENT.

VOID

FEE SCHEDULE:

The CLIENT agrees to pay the GENERAL CONTRACTOR the LUMP SUM FEE of **\$530491.00** to perform the Services as stated above. Breakdown of the services are as follows as shown on an attached **Appendix A**. A balance from Contingency & working capital shall be returned to the CLIENT at the last draw.

PAYMENT SCHEDULE:

All payments shall be requested with a monthly draw in accordance with an understanding developed with the CLIENT. Number of monthly draws to be decided in close consultation with the CLIENT at a later date.

Payments are due to the GENERAL CONTRACTOR, and payable 30 days from the date of an approved draw. The GENERAL CONTRACTOR shall retain the right to suspend all or part of its services without liability to CLIENT for such action when outstanding balances remain for more than 30 days after the draw approval date.

This proposal is valid only for 30 calendar days from the proposal date of (June 1st, 2022). Once executed, this contract is only valid for above-described work and is not valid for any other similar work. Pricing in this contract is also only valid for above-described work and is not transferable to other similar work.

GENERAL TERMS & CONDITIONS:

- **LIMITATION OF LIABILITY:** The CLIENT agrees, to the fullest extent permitted by law, to limit the liability of the GENERAL CONTRACTOR to the CLIENT for all claims, losses, costs, expenses, or damages of any nature whatsoever, including attorney's fees and costs, from any cases, so that the total aggregate liability of the GENERAL CONTRACTOR to the CLIENT shall not exceed the GENERAL CONTRACTOR'S total fee received for services rendered on this project. It is intended that this limitation or causes of action however alleged or arising, unless otherwise specifically prohibited by law.
- **CLIENT PROVIDED INFORMATION:** The GENERAL CONTRACTOR shall be entitled to rely on the accuracy and completeness of any information provided to the GENERAL CONTRACTOR by the CLIENT. The GENERAL CONTRACTOR shall not review said information for inaccuracies or completeness.
- **HAZARDOUS MATERIALS:** The GENERAL CONTRACTOR assumes no responsibility or liability for the discovery or removal of any hazardous substance found at the jobsite.
- **DISPUTE RESOLUTION:** Any dispute under this contract shall be subject to mediation as a condition precedent to litigation.

AGREED TO AND ACCEPTED BY:

All conditions and services as set forth in this Agreement are hereby agreed to. The GENERAL CONTRACTOR shall commence with the services as outlined above on a schedule as mutually agreed to by the CLIENT and the GENERAL CONTRACTOR.

GENERAL CONTRACTOR'S Acceptance:

CLIENT'S Authorization:

Hemal Purohit

PUROHIT ARCHITECTS, INC.
Hemal Purohit, Vice President

June 1st, 2022

Signature (Print Name and Title) (Date)

6/1/2022

Signature (Print Name and Title) (Date)

PUROHIT CONSTRUCTION, INC.

General Contracting

251 Bradwell Rd., Inverness, IL 60010

(O) 847-220-8037; (C) 847-942-8777

Email: info@purohitarchitects.com

Sent Via Email: sunny@morebrewing.com;
perry@morebrewing.com

THE PROJECT AND LOCATION:

More Brewing Company
New 2-Story with full Basement Commercial Building for new micro-brewery with Restaurant at:
121 W. Railroad Ave., Bartlett, IL
(Intersection of W. Railroad Ave. & Oak Ave.)

DATE:

June 01, 2022 (Revised: August 24, 2022)

AGREEMENT BETWEEN (GENERAL CONTRACTOR):

PUROHIT CONSTRUCTION, INC.
251 Bradwell Rd., Inverness, IL 60010

AND (CLIENT):

Void

More Dusty, LLC
Attn.: Mr. Purvish & Sunny Patel Owner(s)
13980 Automall Drive, Huntley, IL 60142
Phone: (847) 668-7613

Thank you for your interest in Purohit Construction, Inc.

In accordance with our in-person communication (s) and via email; we are pleased to submit this agreement for providing all services related to the General Contracting (the G.C.) for new More Micro Brewery at the above-mentioned location.

Project Specifics:

Current Zoning District:	B-1 Village Center District
Existing Property Area:	(+/-) 7,200 Sq Ft
Proposed 1 st floor:	(+/-) 105' x 55' = 5,775 Sq Ft
Proposed 2 nd floor:	(+/-) 105' x 55' = 5,775 Sq Ft
Proposed Basement:	(+/-) 105' x 55' = 5,775 Sq Ft (for Storage Only)
Total Building floor area:	(+/-) 17,325 Sq Ft

Void

BASIC SCOPE OF SERVICES:

It is understood that the proposed development shall consists of new approx. 17,325 Sq Ft of Total 1st, 2nd floors with full basement serving More Brewing Company. Following is the basic scope of services included:

- **New 2-story facility for micro-brewery & restaurant:** The GENERAL CONTRACTOR shall provide all required construction work per the local jurisdiction(s) approved drawings. This contract includes all material(s) and labor for all disciplines that are included in the attached fee schedule (Appendix A).
- The GENERAL CONTRACTOR shall be responsible for getting a certificate of occupancy to the CLIENT after providing the substantial completion of the construction project.

EXCLUSIONS (NOT INCLUDED):

- All jurisdiction related fees shall be paid by the CLIENT

Void

Void

FEE SCHEDULE:

The CLIENT agrees to pay the GENERAL CONTRACTOR the LUMP SUM FEE of ~~\$530,265.00~~ (Revised: \$481,250.00) to perform the Services as stated above. Breakdown of the services are as follows as shown on an attached Appendix A. A balance from Contingency & working capital shall be returned to the CLIENT at the last draw.

PAYMENT SCHEDULE/ TERMS:

All payments shall be requested with a monthly draw in accordance with an understanding developed with the CLIENT. Number of monthly draws to be decided in close consultation with the CLIENT later date. *VOID*

Payments are due to the GENERAL CONTRACTOR, and payable 30 days from the date of an approved draw. The GENERAL CONTRACTOR shall retain the right to suspend all or part of its services without liability to CLIENT for such action when outstanding balances remain for more than 30 days after the draw approval date.

This Contract (Revised: Change Order) is valid only for 30 calendar days from the proposal date of June 01, 2022 (Revised: August 24, 2022). Once executed, this contract is only valid for above-described work and is not valid for any other similar work. Pricing in this contract is also only valid for above-described work and is not transferable to other similar work.

GENERAL TERMS & CONDITIONS:


- **LIMITATION OF LIABILITY:** The CLIENT agrees, to the fullest extent permitted by law, to limit the liability of the ARCHITECT to the CLIENT for all claims, losses, costs, expenses, or damages of any nature whatsoever, including attorney's fees and costs, from any cases, so that the total aggregate liability of the ARCHITECT to the CLIENT shall not exceed the ARCHITECT'S total fee received for services rendered on this project. It is intended that this limitation or causes of action however alleged or arising, unless otherwise specifically prohibited by law.
- **CLIENT PROVIDED INFORMATION:** The ARCHITECT shall be entitled to rely on the accuracy and completeness of any information provided to the ARCHITECT by the CLIENT. The ARCHITECT shall not review said information for inaccuracies or completeness.
- **HAZARDOUS MATERIALS:** The ARCHITECT assumes no responsibility or liability for the discovery or removal of any hazardous substance found at the jobsite.
- **DISPUTE RESOLUTION:** Any dispute under this contract shall be subject to mediation as a condition precedent to litigation.

AGREED TO AND ACCEPTED BY:

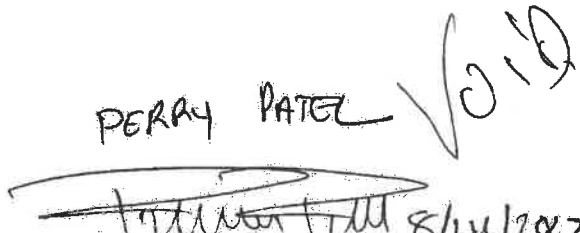
All conditions and services as set forth in this Agreement are hereby agreed to. The GENERAL CONTRACTOR shall commence with the services as outlined above on a schedule as mutually agreed to by the CLIENT and the GENERAL CONTRACTOR.

GENERAL CONTRACTOR'S Acceptance:

CLIENT'S Authorization:

Hemal Purohit

PUROHIT CONSTRUCTION, INC.
 Hemal Purohit, President
 June 01, 2022 (Revised: August 24, 2022)

 Signature (Print Name and Title) (Date)

PERRY PATEL


 Signature (Print Name and Title) (Date)



**CREDIT APPROVAL PRESENTATION
for Jaydev Brew, Inc. dba MORE Brewing**

APPENDIX C: CONSTRUCTION BUDGET

More Brewing Co. Bartlett, IL

Design-Build Project Construction Cost:

Professional Design Fees (Architect & Engineers)	\$90,000
Masonry (Brick, stone & Concrete Block Masonry) 7 star Construction Masonry	\$95,000
General Requirements (General conditions, overhead, security, etc.) Driven Fence	\$3,017
Conveying Equipment (Elevator,) Chicago Elevator & Lifts	\$90,500
Concrete (Concrete, re-bar, back fill) Eagle Concrete	\$395,000
Flooring	
Electrical (Service, Switch board, panel boards, distribution, Power & Lighting)	\$275,000
Structural & Misc. Steel Supplier & Fabrication - Mechanical Steel	\$555,500
Sheet Piling & earth retention Michels Shoring	\$250,000
Schnider Excavation - 121 W. Railroad	\$169,736
CBM Plumbing	\$280,000
Screening On Roof for Mechanical units	\$10,000
Roofing, sheet metal & flashing	\$28,000
HVAC (includes Permit Fees for Ansul System)	\$160,000
Fire Alarm System (includes Permit Fees)	\$27,500
ISAK Fire Protection Fire Sprinkler System (includes Permit Fees)	\$44,765
Flooring	\$60,000
Painting	\$20,000
Carpenter, insulation & wall sheathing	\$164,500
Opening Door/ windows	\$100,000
Tile work	\$15,000
Landscaping	\$5,000
Trash Enclosure	\$5,000
Total Project Cost	\$2,843,718
Contingency 10%	\$284,371
Total	\$3,128,089

APPENDIX D: RISK EVALUATION RATING

PUROHIT ARCHITECTS, INC.
Architects & Planners

251 Bradwell Rd., Inverness, IL 60010
(O) 847-220-8037; (C) 847.942-8777
Email: info@purohitarchitects.com
www.purohitarchitects.com

Sent Via Email: sunny@morebrewing.com
perry@morebrewing.com

THE PROJECT AND LOCATION:

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New 2-Story with full Basement Commercial Building for
new micro-brewery with Restaurant at:
121 W. Railroad Ave., Bartlett, IL
(Intersection of W. Railroad Ave. & Oak Ave.)

DATE:

June 7, 2022

AGREEMENT BETWEEN (GENERAL CONTRACTOR / G.C.):

PUROHIT ARCHITECTS, INC.
251 Bradwell Rd., Inverness, IL 60010

AND (CLIENT):

More Dusty, LLC
Attn.: Mr. Purvish & Sunny Patel Owner(s)
13980 Automall Drive, Huntley, IL 60142
Phone: (847) 668-7613

Thank you for your interest in Purohit Architects!

In accordance with our in-person communication (s) and via email; we are pleased to submit this agreement for providing all services related to the General Contracting (the G.C.) for new More Micro Brewery at the above-mentioned location.

Project Specifics:

Current Zoning District: B-1 Village Center District
Existing Property Area: (+/-) 7,200 Sq Ft
Proposed 1st floor: (+/-) 105' x 55' = 5,775 Sq Ft
Proposed 2nd floor: (+/-) 105' x 55' = 5,775 Sq Ft
Proposed Basement: (+/-) 105' x 55' = 5,775 Sq Ft (for Storage Only)
Total Building floor area: (+/-) 17,325 Sq Ft

BASIC SCOPE OF SERVICES:

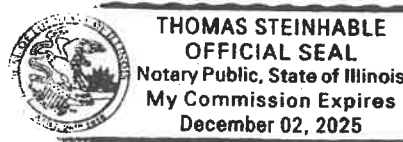
It is understood that the proposed development shall consists of new approx. 17,325 Sq Ft of Total 1st, 2nd floors with full basement serving More Brewing Company. Following is the basic scope of services included:

- **New 2-story facility for micro-brewery & restaurant:** The GENERAL CONTRACTOR shall provide all required construction work per the local jurisdiction(s) approved drawings as a result of the plan review and building permit process. This contract includes all material(s) and labor for all disciplines as included in the following fee schedule. The GENERAL CONTRACTOR shall be responsible for getting a certificate of occupancy to the CLIENT after providing the substantial completion of the construction project.

EXCLUSIONS (NOT INCLUDED):

- All jurisdiction related fees by the CLIENT.

FEE SCHEDULE:



A handwritten signature in black ink, appearing to be "T. Steinhable", written over the notary seal.

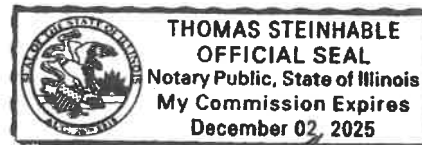
APPENDIX A:

More Brewing Co. Bartlett, IL

Design-Build Project Construction Cost: Invoices Provided

Professional Design Fees (Architect & Engineers)		\$90,000
Masonry (Brick, stone & Concrete Block Masonry) 7 star Construction Masonry		\$95,000
Conveying Equipment (Elevator,) Chicago Elevator & Lifts		\$90,500
Concrete (Concrete, re-bar, back fill) Eagle Concrete		\$395,000
Electrical (Service, Switch board, panel boards, distribution, Power & Lighting)		\$275,000
Structural & Misc. Steel Supplier & Fabrication - Mechanical Steel		\$555,000
Sheet Piling & earth retention Michel's Shoring		\$250,000
Schneider Excavation - 121 W. Railroad		\$169,736
CBM Plumbing		\$267,835
Roofing, sheet metal & flashing		\$28,000
ISAK Fire Protection Fire Sprinklers System (Includes permit Fees)		\$44,765
Carpenter, insulation & wall sheathing		\$164,500
Total Project Cost		\$2,425,336
Contingency	10%	\$233534
	Total	\$2658870

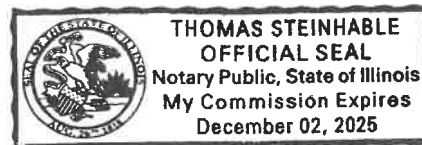
Paid to Principal Construction	\$27,827
Paid to Purohit Architects	\$71,001.57
Paid for the Land	\$100,000.00



APPENDIX A:

**More Brewing Co. Bartlett, IL
Design-Build Project Change Order**

Flooring	\$60,000
Painting	\$20,000
Opening Door/ windows	\$100,000
Tile work	\$15,000
Landscaping	\$5,000
Trash Enclosure	\$5,000
Screening On Roof for Mechanical units	\$10,000
HVAC (includes Permit Fees for Ansul System)	\$185,000
Fire Alarm System (includes Permit Fees)	\$27,500
General Requirements (General conditions, overhead, security, etc.) Driven Fence	\$10,000
Isak Fire Protection Sprinkler System	\$44,764
Sprinkler System	
Total Project Cost	\$482,264.00
Total	\$482,264.00



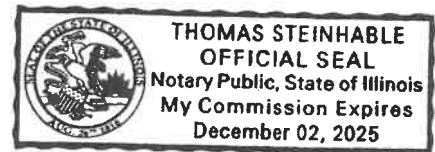
08.29.2022

To: Village Bank & Trust N.A

The attached contract between Purohit Architects Inc and More Busty LLC dated June 7, 2022 for \$2,658,870 is a working contract. Change order for \$482,264 is the working change order.

Sachin Patel, More Dusty LLC

Hemal Purohit, VP
Purohit Architects Inc





A handwritten signature in black ink, appearing to be "T. Steinhable", is written below the notary seal.

08.29.2022

To: Village Bank & Trust N.A

Please void all attached contract between Purohit Architects Inc and More Busty LLC.


Sachin Patel, More Dusty LLC
Hemal Purohit, VP
Purohit Architects Inc.