



**VILLAGE OF BARTLETT
PLAN COMMISSION
(VIRTUAL MEETING)
AGENDA
228 MAIN STREET
May 14, 2020
7:00 P.M.**

This meeting will be held virtually through "Zoom". You may join the meeting online via <https://zoom.us/j/94806584239> or call into (312) 626-6799 using **Webinar ID 948 0658 4239.**

Public comments will be accepted during the meeting or may be emailed in advance to planningdivision@vbartlett.org or sent by regular mail to: Planning Division, 228 S. Main St, Bartlett, IL 60103.

- I. Roll Call
- II. Approval of the March 12, 2020 meeting minutes
- III. **(#19-19) 7-Eleven (555 W. Lake Street)
Site Plan Review
Special Use Permits:**
 - a) Automobile service station,
 - b) To sell package liquor, and
 - c) Outdoor sales (propane)

PUBLIC HEARING

- IV. Old Business/New Business
- V. Adjournment



Village of Bartlett
Plan Commission Minutes
March 12, 2020

J. Lemberg called the meeting to order at 7:00 pm.

Roll Call

Present: J. Lemberg, M. Hopkins, J. Miaso, D. Negele, A. Hopkins, and D. Gunsteen

Absent: J. Allen, J. Kallas, and T. Ridenour

Also Present: Village Planner, Kristy Stone

Approval of Minutes

A motion was made to approve the November 14, 2019 meeting minutes.

Motioned by: A. Hopkins

Seconded by: J. Miaso

Roll Call

Ayes: J. Lemberg, J. Miaso, D. Negele, A. Hopkins, and D. Gunsteen

Abstain: M. Hopkins

Nays:

The motion carried.



Village of Bartlett
Plan Commission Minutes
March 12, 2020

(#19-20) Lis Trucking (2300 Graham St)
Site/PUD Plan Amendment
Amending the Special Use Permits

The following exhibits were presented:

Exhibit A – Picture of Sign

Exhibit B – Mail Affidavit

Exhibit C – Notification of Publication

K. Stone stated that the property was annexed and zoned PD (Planned Development) on July 29, 2003 by Ordinance #2003-98 as part of the 186-acre Bluff City Industrial Park. There was a previous Site Plan approved by Ordinance #2016-90 for the eastern 3.35-acres of the Subject Property as well as a 5-acre trailer storage site. That Site Plan was amended a year later by Ordinance #2017-97. The Petitioner is before us today because they are requesting a PUD Plan for the 3.35-acre site and 2.34-acre site. The 2.34-acre site is leased by Benchmark Properties who has been using it as their storage yard for the past 20 years. Lis Trucking will be moving their operations to the 3.35-acre site, which was previously leased by Acton Mobile. The Petitioner is requesting a Site Plan Amendment to have trailer parking in the back on the 3.35-acre site. They are changing their parking configuration slightly by the office area and they would like to amend the Special Use Permits for the amended Site/PUD Plan and to allow the storage of car carriers and passenger vehicles on the site previously known as Acton Mobile. The petitioner will be adding fabric mesh along the fence that goes the length of Graham Street, which is a private road. Staff recommends approval subject to the conditions and Findings of Fact outlined in your staff report.

J. Lemberg asked if there were any further questions for Staff by the Committee and if the Petitioner had anything to add.

Petitioner **Dean Kelley** of 2250 Southwind Blvd came forward, was sworn in, and stated that Lis Trucking would have up to 10 car carriers that transport used and new vehicles. The vehicles are parked there no more than one to two days. They only have three or four employees. They have contractors that will be in and out with the car carriers. It will be a much less intensive use with low volume and low traffic. They agreed to do improvements along Graham St. such as adding fabric to the fence and adding landscaping in an area that is not landscaped near the Benchmark storage yard.

J. Lemberg asked if there were any questions for the Petitioner.

D. Negele asked how tall was the fabric fence? **D. Kelley** answered, eight feet (8'). **D. Gunsteen** asked if there were any surrounding houses. **K. Stone** answered, no, it is all industrial. **D. Negele** asked if there would be any changes in the configuration of the road with curb cuts. **D. Kelley** stated that there will be no changes.

J. Lemberg asked if there were any further questions from the Committee. There were no further questions.



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J. Lemberg opened the Public Hearing portion of the meeting. No one came forward. **J. Lemberg** closed the Public Hearing portion of the meeting. **J. Lemberg** asked if there were any further questions from the Committee. There were no further questions.

J. Lemberg asked for a motion to approve the Petitioner's requests to amend the Site/PUD Plan and amend the Special Use Permits subject to the conditions and Findings of Fact.

Motioned by: D. Negele

Seconded by: J. Miaso

Roll Call

Ayes: D. Negele, D. Gunsteen, A. Hopkins, M. Hopkins, J. Miaso and J. Lemberg

Abstain:

Nays:

The motion carried.



Village of Bartlett
Plan Commission Minutes
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Old Business/ New Business

K. Stone stated that there will be a case for next month. The former Marathon gas station at N. Bartlett Rd and Lake St. is the site of a proposed 7-Eleven convenience store and gas station. It would be a brand-new facility. They are proposing to tear down the existing building. We also have annexations and potential subdivisions coming up. **A. Hopkins** asked if the 7-Eleven was a relocation. **K. Stone** stated, yes and they are requesting Special Uses for an automobile service station, packaged liquor sales, and to have outdoor sales for propane. They are also requesting Site Plan Review. **A. Hopkins** asked how things were going at Streets of Bartlett and if they have found anyone for the big site? **K. Stone** answered that the owner has been in discussions with three potential tenants. **A. Hopkins** asked when the One Taco Dos Tequilas will open. **K. Stone** stated that it is supposed to open in March.


J. Lemberg asked if there was a motion to adjourn.

Motion passed by unanimous voice vote.

The meeting was adjourned at 7:11 pm.

PLANNING AND DEVELOPMENT SERVICES MEMORANDUM

20-052

DATE: May 8, 2020
TO: The Chairman and Members of the Plan Commission
FROM: Kristy Stone, Village Planner 
RE: **(#19-19) 7-Eleven (555 W. Lake Street)**

PETITIONER

Jon Silverberg of GW Properties Group LLC.

SUBJECT SITE

555 W. Lake Street (Northeast corner of Lake St. and N. Bartlett Rd.)

REQUESTS

Site Plan Review

Special Use Permits:

- a) Automobile service station
- b) To sell package liquor
- c) To allow outdoor sales (propane)

SURROUNDING LAND USES

	<u>Land Use</u>	<u>Comprehensive Plan</u>	<u>Zoning</u>
Subject Site	Gas Station	Commercial	B-3
North	Apartments	Attached Residential	SR-6
South	Farm Stand/ Agriculture	Commercial	SR-2
East	Apartments	Attached Residential	SR-6
West	Vacant	Commercial	B-2

ZONING HISTORY

This property has been part of Bartlett since its incorporation in 1891 and was shown on the Village's first Zoning Map (1941) as part of the Farming District. According to the 1962 Zoning Map, the property was zoned C Commercial. Ordinance 1963-18 *The Zoning Ordinance for the Village of Bartlett, Illinois* permitted automobile service stations and auto repair shops in Commercial Districts. Ordinance 1968-10 *An Ordinance Amending Ordinance No 63-18, the Zoning Ordinance for the Village of Bartlett, Illinois* designated existing service stations as legal nonconforming uses that were exempt from

obtaining a Special Use Permit as long as they stayed operational. During the comprehensive rezoning of the Village in 1978, the property was rezoned to the B-3 (Neighborhood Shopping) Zoning District.

DISCUSSION

1. The Petitioner is requesting **Site Plan Review** for a proposed 3,500 sq. ft. 7-Eleven convenience store and gas station on 0.9 acres at the northeast corner of N. Bartlett Rd. and Lake St. in the B-3 (Neighborhood Shopping) Zoning District.
2. The existing building would be demolished with the new convenience store oriented towards Lake St. It would have a maximum height of 18 ft. 10 in. and be constructed with fiber cement panels that have the appearance of brick and ribbed metal. A decorative metal canopy is located over the entrance of the convenience store. The fuel canopy would be 17.5 feet tall.



CANYONBRICK
Shale Brown



RIBBED
Indigo

3. The Petitioner is requesting a **Special Use Permit** for an automobile service station with five pump islands (10 total stations) since the use of the site as a service station has been discontinued for more than six (6) months. (The Marathon station closed in 2013.) Additional **Special Use Permits** are being requested to sell package liquor and for outdoor sales (propane).
4. The proposed hours of operation for the 7-Eleven gas station and convenience store are 24 hours, seven (7) days a week.
5. The previous gas station had four (4) full access curb cuts, two (2) each on N. Bartlett Road and Lake Street. The Site Plan shows one full access curb cut on N. Bartlett Road and a right-in/right-out curb cut on Lake Street. The existing two curb cuts closest to the intersection will be removed.

6. The Petitioner is requesting the following Variations:
 - A 2.5 ft variation from the required 50 ft. front yard to allow the fuel pump canopy 47.5 feet from the front property line (south – Lake Street),
 - An 8 ft. variation from the required 50 ft. corner side yard to allow the fuel pump canopy 42 feet from the corner side property line (west – N. Bartlett Road),
 - To allow parking in the corner side yard (on the west side of the building),
 - To allow the trash enclosure in the corner side yard rather than the rear yard (the enclosure will be located 42.25 feet from the west property line),
 - To reduce the required landscaped interior parkway width from 20 feet to 7 feet.

*(The Zoning Board of Appeals held a public hearing to review these variation requests on May 7, 2020. **The Zoning Board of Appeals voted unanimously to recommend approval of the requested variations.**)*
7. The Zoning Ordinance requires a total of 28 parking spaces, 18 parking spaces for the convenience store and two (2) parking spaces for each pump island. The Petitioner is providing a total of 29 parking spaces which exceeds the Zoning Ordinance requirement. Nineteen (19) spaces including one (1) accessible space are designated for the convenience store, and two (2) parking spaces are at each island for the fuel center.
8. To meet the stormwater requirements for the site, the Petitioner has arranged to pay a fee-in-lieu of the required Post-Construction Best Management Practices (PCBMP) with DuPage County. The Village Engineer supports the Petitioner's request to utilize the fee-in-lieu program.
9. The Petitioner is proposing a six (6) ft. tall, solid fence along the north and east property lines in addition to deciduous trees and large shrubs required by the Landscape Ordinance to screen the commercial property from the adjacent apartments.
10. The Landscape Plan is currently under review by the Staff.
11. The Photometric Plan has been approved. The Plan indicates that the light fixtures under the fuel center canopy will be recessed into the canopy and have full cutoffs.
12. A revised Traffic Impact Analysis has been submitted by the Petitioner. Cook County Highway (N. Bartlett Rd) and IDOT (Lake St) have approved the curb cuts as shown. The Village's Traffic Consultant has no further comments.
13. The Village's Environmental Consultant has met with the Petitioner and has provided recommendations to protect the public health and environment

during the redevelopment of the site. His letter dated February 20, 2020 is attached for your reference.

14. In response to Village Board Committee comments, the Petitioner has moved the fuel vents away from Lake Street and has verified that there is a safety shut off system for filling the tanks.

RECOMMENDATION

1. The Staff recommends approval of the Petitioner's requests for a Site Plan and Special Use Permits subject to the following conditions and Findings of Fact:
 - A. Building permits shall be required for all construction activities including, but not limited to, tank removal, demolition and new construction;
 - B. Staff approval of the Landscape and Sign Plans;
 - C. Village Engineer approval of the Engineering Plans;
 - D. Approval by the Village's environmental consultant of the environmental remediation work and confirmation that all conditions and recommendations outlined in the Deigan & Associates, LLC letter dated February 20, 2020 have been satisfied;
 - E. Signage shall be reviewed and approved separately by the Planning and Development Services Department in accordance with the Sign Ordinance;
 - F. IDOT approval of the permit for the curb cut on Lake Street;
 - G. A sidewalk shall be installed along Lake Street per IDOT's request;
 - H. Cook County Highway approval of the permit for the curb cut on N. Bartlett Road;
 - I. No tanker deliveries shall be allowed from 7:00 a.m.-9:00 a.m. and from 3:00 p.m.-7:00 p.m.;
 - J. A 50-cent per square foot Municipal Building Donation is required and due upon the issuance of a building permit;
 - K. Landscaping must be installed within one year of the issuance of a building permit;
 - L. If landscaping cannot be installed at the time of construction, a landscape estimate shall be submitted to Planning & Development Services Development for review and approval by the Village Forester and a bond posted in the approved amount for its future installation;
 - H. Findings of Fact (Site Plan):
 - i. That the proposed automotive service station is a Special Use in the B-3 Zoning District;
 - ii. That the proposed building, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses;
 - iii. That the vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well;

- iv. That the site plan provides for the safe movement of pedestrians within the site;
 - v. That there is a sufficient mixture of grass trees and shrubs within the interior and perimeter (including public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses. Any part of the site plan area not used for buildings, structures, parking or access ways shall be landscaped with a mixture of grass, trees and shrubs; (All landscape improvements shall be in compliance with Chapter 10-11A, Landscape Requirements.)
 - vi. That all outdoor storage areas are screened and are in accordance with standards specified by this Ordinance.
- I. Findings of Fact (Special Use Permits):
- i. The proposed Special Uses are desirable to provide a use which is in the interest of public convenience and will contribute to the general welfare of the community;
 - ii. That the proposed Special Uses will not under the circumstances of the particular case be detrimental to the health, safety, morals or general welfare of persons residing or working in the vicinity or be injurious to property value or improvement in the vicinity;
 - iii. That the Special Uses shall conform to the regulations and conditions specified in the Bartlett Zoning Ordinance for such use and with the stipulations and conditions made a part of the authorization granted by the Village Board of Trustees.

Background materials are attached for your review and consideration.

/attachments
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2211 North Elston, Suite 304
Chicago, Illinois 60614
Main: 773.382.0445
Fax: 773.796.3037

April 30, 2020

President
Board of Trustees
Village of Bartlett
228 S Main Street
Bartlett, IL 60103

RE: 555 W Lake, Bartlett, Illinois

Dear President of the Board,

GW Property Group is proposing a new development on the Northeast corner of Bartlett Rd and Lake St in Bartlett, Illinois. The site would provide a 3,500sf convenience store with a 5-pump gas station. Our complete development application provides the finding of facts in regard to our site plan, variance, and special use request. The variance involves a 50ft front yard set back from the property line along Lake St. The need for the variance is triggered by the canopy which is set back approximately 45ft from the property line along Lake St. the point at which the canopy encroaches on the required 50ft set back is 14ft in the air. The applicant is requesting a special use, to sell package liquor, and outdoor sales of propane in order for the project to be viable for our proposed tenant.

Regards,

Jon Silverberg
Vice President
GW Property Group LLC.

A handwritten signature in black ink, appearing to read 'J. Silverberg', written in a cursive style.



VILLAGE OF BARTLETT DEVELOPMENT APPLICATION

For Office Use Only
 Case # 2019-19
 (Village Stamp)

PROJECT NAME GW Bartlett LLC

PETITIONER INFORMATION (PRIMARY CONTACT)

Name: Jon Silverberg

Street Address: 2211 N Elston Ave Suite 304

City, State: Chicago, IL

Zip Code: 60614

Email Address: [REDACTED]

Phone Number: [REDACTED]

Preferred Method to be contacted: Email

PROPERTY OWNER INFORMATION

Name: Abrar A. Sahi

Street Address: [REDACTED]

City, State: [REDACTED]

Zip Code: [REDACTED]

Phone Number: _____

OWNER'S SIGNATURE: See attached letter
(OWNER'S SIGNATURE IS REQUIRED or A LETTER AUTHORIZING THE PETITION SUBMITTAL.)

ACTION REQUESTED (Please check all that apply)

- Annexation
 - PUD (preliminary)
 - PUD (final)
 - Subdivision (preliminary)
 - Subdivision (final)
 - Site Plan (please describe use: commercial, industrial, square footage):
Commercial, gas station.
 - Unified Business Center Sign Plan
 - Other (please describe) _____
- Text Amendment
 - Rezoning B-3 to B-3
 - Special Use for: Package liquor & Outdoor sales
 - Variation: Front Set-back, Interior Walkway

SIGN PLAN REQUIRED? No

(Note: A Unified Business Center Sign Plan is required for four or more individual offices or businesses sharing a common building entrance or private parking lot.)

PROPERTY INFORMATION

Common Address/General Location of Property: 555 W Lake St Bartlett, IL 60103

Property Index Number ("Tax PIN"/"Parcel ID"): 06-27-403-013-0000

Zoning: Existing: B-3 **Land Use:** Existing: Vacant
(Refer to Official Zoning Map)

Proposed: B-3 Proposed: Commercial

Comprehensive Plan Designation for this Property: Commercial
(Refer to Future Land Use Map)

Acreage: .899

For PUD's and Subdivisions:

No. of Lots/Units: N/A

Minimum Lot: Area _____ Width _____ Depth _____

Average Lot: Area _____ Width _____ Depth _____

APPLICANT'S EXPERTS (If applicable, including name, address, phone and email)

Attorney Jaffe & Berlin LLC
111 W Washington Suite 900, Chicago, IL 60602
312-372-1550

Engineer Jason Wiesbrock, SpaceCo Inc.
224 1/2 N Liberty St. Morris, IL 60450
[REDACTED]

Other Mark Diganci, Design Studio 24
2211 N Elston Ave Suite 304, Chicago, IL 60614
[REDACTED]

FINDINGS OF FACT (Standards)

The Village of Bartlett Zoning Ordinance requires that certain findings of fact, or standards, must be met before a special use permit, variation, site plan or planned unit development may be granted. Each application for a hearing before the Plan Commission or Zoning Board of Appeals for a special use, variation, site plan or planned unit development must address the required findings of fact for each particular request. The petitioner should be aware that he or she must present specific testimony at the hearing with regards to the findings. **(On the following pages are the findings of fact, or standards, to be met. Please respond to each standard, in writing, as it relates to the case.)**

****PLEASE FILL OUT THE FOLLOWING FINDINGS OF FACT AS THEY
RELATE TO YOUR PETITION****

Findings of Fact for **Site Plans**: Pages 4-5

Findings of Fact for **Planned Unit Developments**: Pages 6-9

Findings of Fact for **Special Uses**: Page 10

Findings of Fact for **Variations**: Pages 11-12

FINDINGS OF FACT FOR SITE PLANS

Both the Plan Commission and Village Board must decide if the requested Site Plan meets the standards established by the Village of Bartlett Zoning Ordinance.

The Plan Commission shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Plan Commission and Village Board to review.)**

1. The proposed use is a permitted use in the district in which the property is located.

GW Property Group is proposing a 3,500sf convenience store and gas station with 5 pumps located on the North East corner of Bartlett Rd and Lake St. There is a special use permit for a previous gas station and currently under the B3 zoning that allows for a convenience store.

2. The proposed arrangement of buildings, off-street parking, access, lighting, landscaping, and drainage is compatible with adjacent land uses.

GW has confirmed that all building, off-street parking, access points, lighting, and drainage are compatible with adjacent land uses. The development is similar to old configuration but much more appealing to the neighboring lots.

3. The vehicular ingress and egress to and from the site and circulation within the site provides for safe, efficient and convenient movement of traffic not only within the site but on adjacent roadways as well.

The proposed site plan shows an efficient ingress and egress to and from the site.

The site will be using three existing right in and right out entry ways with a 33ft width being the shortest access. As apart of the development we will have gotten approvals from IDOT which will show efficient access usage for both cars and trucks.

4. The site plan provides for the safe movement of pedestrians within the site.

The site plan shows an easy, safe way for pedestrians to move about the area. There is a 7 foot sidewalk between the convenience store and the parking spaces that would allow pedestrians ample space to walk.

5. There is sufficient mixture of grass, trees and shrubs within the interior and perimeter (including public right-of-way) of the site so that the proposed development will be in harmony with adjacent land uses and will provide a pleasing appearance to the public. Any part of the site plan area not used for buildings, structures, parking or accessways shall be landscaped with a mixture of grass, trees and shrubs. (All landscape improvements shall be in compliance with Chapter 10-11A, Landscape Requirements)

Grass, tress, and shrubs have been adequately added to our landscape plan for the site compared to the previous development. Areas where there are no buildings, structures, parking, or access ways will have significant ground cover and give neighboring properties a pleasurable view from a far.

6. All outdoor storage areas are screened and are in accordance with standards specified by this Ordinance.

According to standards that are specified, all outdoor areas are up to code. Trash is in the appropriate enclosure. The nitrogen and CO2 are in a locked, esthetically pleasing enclosure on the front external wall of the building.

FINDINGS OF FACT FOR SPECIAL USES

Both the Plan Commission and Village Board must decide if the requested Special Use meets the standards established by the Village of Bartlett Zoning Ordinance.

The Plan Commission shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Plan Commission and Village Board to review.)**

1. That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

At the requested location our special uses would involve sale of package liquor. These items are viable to our project and would allow our convenience store to be a one stop shop for the surrounding community.

2. That such use will not under the circumstances of the particular case be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or be injurious to property value or improvement in the vicinity.

Keeping the community in mind, we are confident our special uses will not affect their well being. The special uses would provide a more marketable space by offering packaged liquor.

3. That the special use shall conform to the regulations and conditions specified in this Title for such use and with the stipulation and conditions made a part of the authorization granted by the Village Board of Trustees.

We have planned to continually use the authorization by the village board of trustees as a guideline to uphold all stipulations and conditions made. The tenant, 7-Eleven, will comply will all Village requests.

FINDINGS OF FACT FOR SPECIAL USES

Both the Plan Commission and Village Board must decide if the requested Special Use meets the standards established by the Village of Bartlett Zoning Ordinance.

The Plan Commission shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the Plan Commission and Village Board to review.)**

1. That the proposed use at that particular location requested is necessary or desirable to provide a service or a facility which is in the interest of public convenience and will contribute to the general welfare of the neighborhood or community.

At the proposed location, our second special use permit request would involve the outdoor sales of propane. This items are necessary for the projects viability. It will also be an amenity to the community to have easy access common household items.

2. That such use will not under the circumstances of the particular case be detrimental to the health, safety, morals, or general welfare of persons residing or working in the vicinity or be injurious to property value or improvement in the vicinity.

7-Eleven takes the safety, morals, and general welfare very seriously when developing a new gas station and convenience store. The propane is stored in a locked box that is only accessible with a key from the convenience store employee on duty.

3. That the special use shall conform to the regulations and conditions specified in this Title for such use and with the stipulation and conditions made a part of the authorization granted by the Village Board of Trustees.

The proposed special uses will conform to the regulations and conditions specified in this Title.

FINDINGS OF FACT FOR VARIATIONS

Both the Zoning Board of Appeals and the Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Zoning Ordinance and if there is a practical difficulty or hardship in carrying out the strict letter of the regulations of the Zoning Ordinance.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the ZBA and Village Board to review.)**

1. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

Given the dimension of the property attained, to make the site safe for pedestrian movements and accommodate fuel deliveries, it is necessary for the additional 5ft to attain the overall 50ft set-back.

2. That conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.

In order to make the site plan viable the size of the property is bound by the adjacent properties and street locations. The actual building will still be set-back 100ft but the canopy, which is 14ft above ground, will be the structure closest to the property line.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

The proposed development is driven by not only specific tenant standards but by fuel delivery routing distance standards, that if not met, would make the project nonviable. The applicant is not requesting the variance in order to generate additional compensation from the sale of the property. This variation would not allow for additional building or pumps.

4. That the alleged difficulty or hardship is caused by the provisions of this Title and has not been created by any person presently having an interest in the property.

No person who has interest in the property was involved in creating the provisions of this title.

5. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.

The proposed variation will not affect the public. We have taken in account the surrounding neighbors and planned accordingly. The structure being questioned is a canopy 14ft in the air, not the building which is correctly positioned farther into the site.

6. That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.

The variance will not impair an adequate supply of light and air to adjacent properties. The convenience store is over 100ft from the property line.

7. That the granting of the variance requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

The variance does not give applicant any special privilege that is denied by the provisions of this title.

FINDINGS OF FACT FOR VARIATIONS

Both the Zoning Board of Appeals and the Village Board must decide if the requested variation is in harmony with the general purpose and intent of the Zoning Ordinance and if there is a practical difficulty or hardship in carrying out the strict letter of the regulations of the Zoning Ordinance.

The Zoning Board of Appeals shall make findings based upon evidence presented on the following standards: **(Please respond to each of these standards in writing below as it relates to your case. It is important that you write legibly or type your responses as this application will be included with the staff report for the ZBA and Village Board to review.)**

1. That the particular physical surroundings, shape or topographical condition of the specific property involved would result in a particular hardship upon the owner, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

A variation would be required for the proposed site due to our interior parkway being 7 feet wide when the B-3 zoning requires 20 feet. The additional space is intended to help with the flow of the site and would not cause any inconvenience or hardship to the owner.

2. That conditions upon which the petition for a variation is based are unique to the property for which the variation is sought and are not applicable, generally, to other property within the same zoning classifications.

Due to the location of the adjacent properties our proposed site plan would be bound to the unique size and would cause for the required variation.

3. That the purpose of the variation is not based exclusively upon a desire to make more money out of the property.

The purpose of the variation is not based on the desire to make more money but by making the project viable for our specific tenant standards. If not met, the project would be nonviable. The variation will not allow for any additional buildings or pumps, but focused on safely and properly developing the property in the site.

4. That the alleged difficulty or hardship is caused by the provisions of this Title and has not been created by any person presently having an interest in the property.

No person who has interest in the property was involved in creating the provisions of this title.

5. That the granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhoods in which the property is located.

The proposed variation will not affect the public. We have taken in account the surrounding neighbors and planned accordingly. The interior parkway will be addressed properly and will not be detrimental to the public welfare.

6. That the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase the congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the adjacent neighborhood.

The variance will not impair an adequate supply of light and air to adjacent properties. As shown in our light photometric plan.

7. That the granting of the variance requested will not confer on the applicant any special privilege that is denied by the provisions of this Title to other lands, structures or buildings in the same district.

The variance does not give applicant any special privilege that is denied by the provisions of this title.

ACKNOWLEDGEMENT

I understand that by signing this form, that the property in question may be visited by village staff and Board/Commission members throughout the petition process and that the petitioner listed above will be the primary contact for all correspondence issued by the village.

I certify that the information and exhibits submitted are true and correct to the best of my knowledge and that I am to file this application and act on behalf of the above signatures.

Any late, incomplete or non-conforming application submittal will not be processed until ALL materials and fees have been submitted.

SIGNATURE OF PETITIONER: 

PRINT NAME: Jon Silverberg

DATE: 4/30/2020

REIMBURSEMENT OF CONSULTANT FEES AGREEMENT

The undersigned hereby acknowledges his/her obligation to reimburse the Village of Bartlett for all necessary and reasonable expenses incurred by the Village for review and processing of the application. Further, the undersigned acknowledges that he/she understands that these expenses will be billed on an ongoing basis as they are incurred and will be due within thirty days. All reviews of the petition will be discontinued if the expenses have not been paid within that period. Such expenses may include, but are not limited to: attorney's fees, engineer fees, public advertising expenses, and recording fees. Please complete the information below and sign.

NAME OF PERSON TO BE BILLED: GW Bartlett LLC

ADDRESS: 2211 N Elston Ave. Suite 304, Chicago, IL 60614

PHONE NUMBER: 

EMAIL: 

SIGNATURE: 

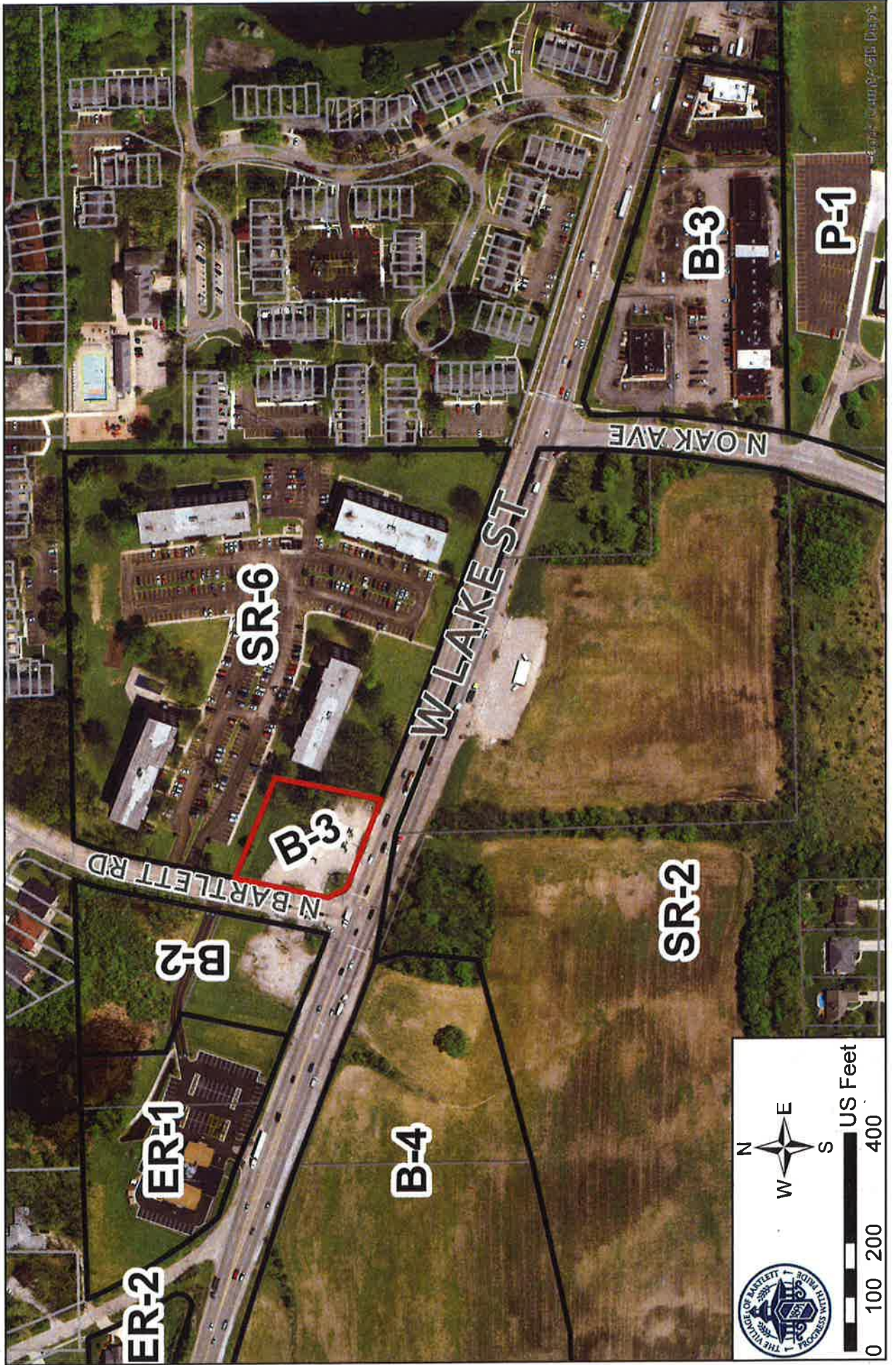
DATE: 4/30/2020

7 ELEVEN

555 W. LAKE ST.

Site Plan, Special Use, Variations

PIN : 06-27-403-013





GW PROPERTIES: 7-ELEVEN, INC.
555 W LAKE ST
BARTLETT, IL 60103

DESIGN STUDIO 24 LLC
 ARCHITECTS
 2511 E. ELSTON AVE., CHICAGO, IL 60614
 TEL: 773.280.8500

SITE PLAN

NOT PUBLISHED - ALL RIGHTS RESERVED
 REPRODUCED DESIGN STUDIO 24, LLC EXPRESSLY
 DISCLAIMS ANY RESPONSIBILITY ARISING FROM ANY
 UNAUTHORIZED USE OF THE DRAWING AND SPECIFICATIONS
 AND AUTHORIZATION MUST BE IN WRITING

CAUTION: Contractor to verify all existing
 conditions, dimensions, etc. BEFORE to bid and
 construction. Contractor to verify sewer and water
 at all depths. No site of discovery or existing
 conditions found to be different from those as
 indicated.

NOTES: This drawing may have been reproduced
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 purpose. Drawings are NOT to be used, but
 subject to right reserved. Not a contract or by
 representation.

STATEMENT OF COMPLIANCE
 I have prepared, or caused to be prepared
 under my supervision, the attached plans and
 specifications and state that, to the best of my
 knowledge and belief and to the extent of my
 contracted obligation, they conform to the
 Code and Ordinances of Cook County, Illinois.

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 Code and Ordinances of Cook County, Illinois.

DATE	DATE

DATE	REVISIONS
01.24.20	Revised per per Village comments

SCALE: 1/16" = 1'-0"

DRAWN BY: PRATEEK SHAH, UES44A



LICENSE EXPIRES: 11.30.2023

A1.3



PARKING SPACES : 18 + 1 H.A. = 19

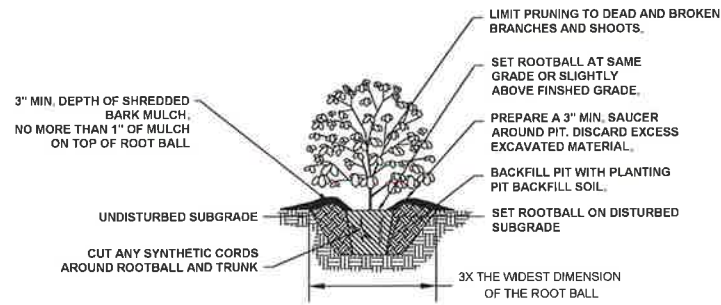
PROPOSED SITE PLAN

SCALE: 1/16" = 1'-0"
 FIT TO PAGE SCALE

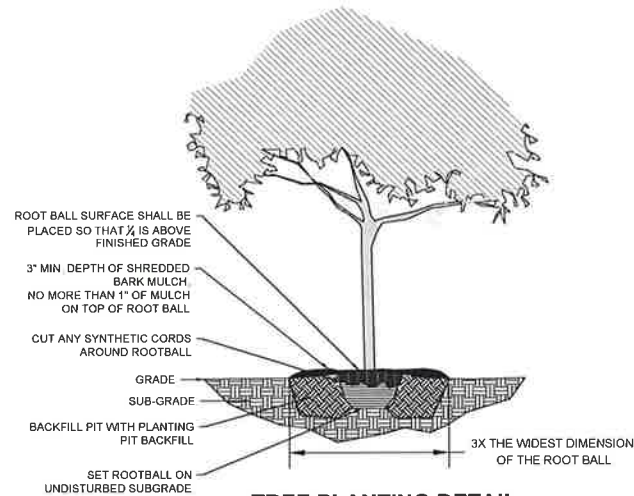


Bartlett Rd & E Lake St

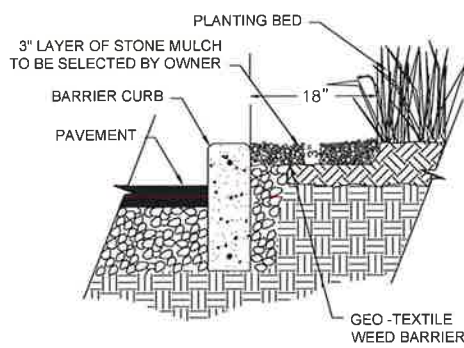
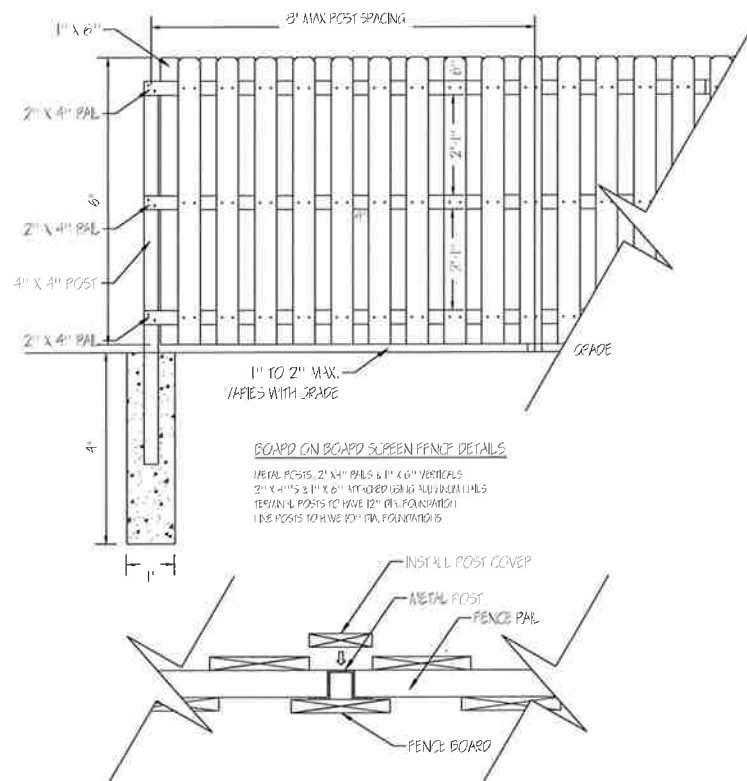
PROJECT: 7-ELEVEN, INC. 555 W LAKE ST, CHICAGO, IL 60614
 DRAWN BY: PRATEEK SHAH, UES44A
 DATE: 01.24.20



SHRUB PLANTING DETAIL
NO SCALE



TREE PLANTING DETAIL
NO SCALE



STONE EDGE DETAIL
NO SCALE

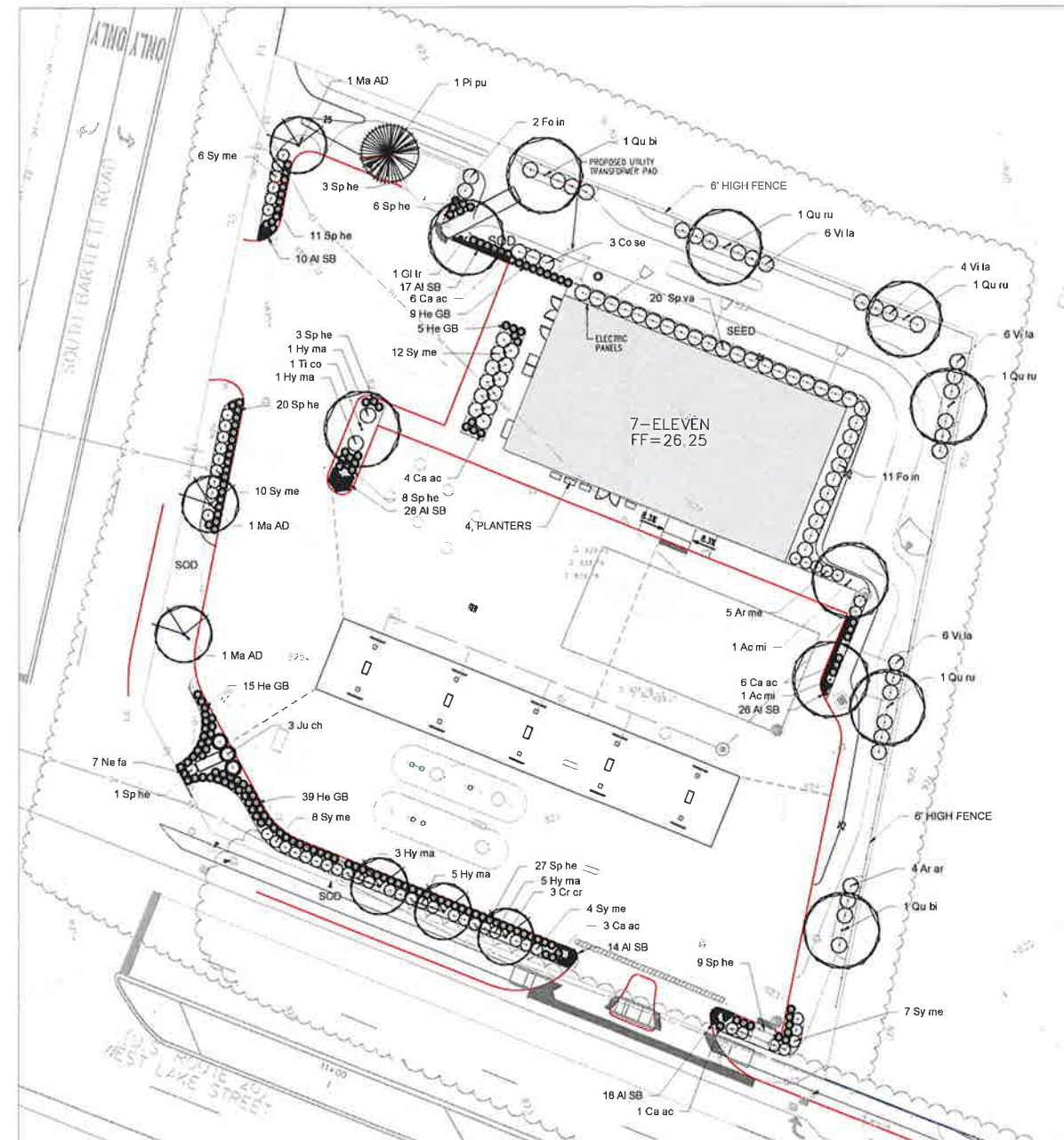


PLANTER EXAMPLE

18" H X 18" W X 3' LONG
Marek Fiberglass Tapered Rectangle Planter
Planted seasonally with Pansy's in the spring,
Wave Petunias in the summer and Mums in the fall.

GENERAL CONSTRUCTION NOTES:

- ALL ALTERATIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- CONTRACTORS MUST VERIFY ALL QUANTITIES AND OBTAIN ALL PROPER PERMITS AND LICENSES FROM THE PROPER AUTHORITIES.
- ALL LANDSCAPE IMPROVEMENTS SHALL MEET MUNICIPALITY REQUIREMENTS AND GUIDELINES, WHICH SHALL BE VERIFIED BY MUNICIPAL AUTHORITIES.
- ALL MATERIAL MUST MEET INDUSTRY STANDARDS AND THE LANDSCAPE ARCHITECT HAS THE RIGHT TO REFUSE ANY POOR MATERIAL OR WORKMANSHIP.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR UNSEEN SITE CONDITIONS.
- EXCAVATE PARKING LOT ISLANDS AND CURBED PLANTERS TO A DEPTH OF 18" AND BACKFILL WITH TOPSOIL.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES. DO NOT OBSTRUCT NATURAL OR DESIGNED DRAINAGE FLOW PATTERN.
- ANY IMPORTED TOPSOIL FOR THIS PROJECT SHALL CONSIST OF A FRIABLE LOAM OR A SANDY LOAM, COMPRISED OF BETWEEN 20 - 50% SILT, 10 - 25% CLAY AND 30 - 60% SAND. THE PH LEVEL SHALL BE BETWEEN 6.0 AND 7.2 AND THE ORGANIC CONTENT SHALL BE BETWEEN 3 - 6%. THE TOPSOIL SHALL BE SCREENED AND NOT CONTAIN STONES, LARGE CLUMPS GREATER THAN 1", ROOTS, OR ANY DEBRIS.
- BERM ALL PARKING LOT ISLANDS TO A HEIGHT 3" ABOVE BACK OF TOP OF CURB.
- AMENDED SOIL FOR PLANTING SHALL BE MIXED THOROUGHLY PRIOR TO PLANTING.
- AMENDED SOIL SHALL BE AS FOLLOWS:
TREES AND WOODY SHRUBS SEE STANDARD DETAIL
PERENNIALS 60% TOPSOIL, 20% ANGULAR COARSE SAND, 20% PINE FINES
- ALL PLANTINGS SHALL BE SPACED EQUAL DISTANT, BACKFILLED WITH AMENDED SOIL IN A HOLE TWICE THE ROOTBALL DIAMETER, WATERED, FERTILIZED, PRUNED AND HAVE ALL TASS AND ROPES REMOVED.
- TREES SHALL BE STAKED AND GUYED AND WATERING SAUCER AT BASE.
- ALL MASS PLANTING SHRUB BEDS TO BE BERMED 2" TO 3" ABOVE GRADE AND MEET DRAINAGE REQUIREMENTS.
- LAWN AND BED AREAS SHALL BE ROTOTILLED AND CLUMPS OF SOIL, AGGREGATES AND DEBRIS RAKED OUT AND REMOVED FROM THE SITE.
- ALL DISTURBED AREAS SHALL HAVE A MIN. OF 6" OF TOPSOIL PLACED AND THEN SEED, FERT. AND BLANKET INSTALLED.
- ALL BEDS SHALL BE EDGED, HAVE WEED PRE-EMERGENTS APPLIED AT THE RECOMMENDED RATE, AND SHREDDED HARDWOOD MULCH SPREAD AT A MINIMUM OF 3" DEPTH.
- ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF PROPERLY.



PLANT LIST

Sym.	Botanical Name	Common Name	Qty.	Size	Cond.	Height
Deciduous Trees						
Ac mi	Acer miyabe	State Street Miyabe Maple	2	3"	B & B	12-15'
Gl Ir	Gleditsia tricanthos inermis 'Skyline'	Skyline Honey Locust	1	3"	B & B	12-15'
Qu bi	Quercus bicolor	Swamp White Oak	2	3"	B & B	12-15'
Qu ru	Quercus rubra	Northern Red Oak	4	3"	B & B	12-15'
Ti co	Tilia cordata 'Greenspire'	Greenspire Linden	1	3"	B & B	12-15'
Evergreen Trees						
Pi pu	Picea pungens	Colorado Spruce	1	10'	B & B	10'
Ornamental Trees						
Cr cr	Crataegus crus-galli inermis	Thornless Cockspur Hawthorn	3	2.5"	B & B	8'
Ma AD	Malus Adams	Adams Crabapple	3	2.5"	B & B	8'
Deciduous Shrubs						
Ar ar	Aronia arbutifolia 'Brikklontissima'	Red Chokeberry	8	#5	Cont.	36"
Ar me	Aronia melanocarpa 'Low Scape Mound'	Low Scape Mound Chokeberry	5	#5	Cont.	18-24"
Co se	Comus sericea 'Isanti'	Redoster Dogwood	3	36"	B & B	36"
Fo in	Forsythia x intermedia 'Meadowlark'	Meadowlark Forsythia	13	36"	B & B	36"
Hy ma	Hydrangea macrophylla 'Balmor'	Endless Summer Hydrangea	15	#5	Cont.	18-24"
Sp va	Spiraea x vanhouttei 'Renaissance'	Renaissance Spirea	20	#5	Cont.	18-24"
Sy me	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	47	#5	Cont.	18-24"
Vi la	Viburnum lauriana 'Mohican'	Mohican Viburnum	22	#5	Cont.	36"
Perennials & Grasses						
Al SB	Allium 'Summer Beauty'	Summer Beauty Allium	113	#1	Cont.	6-9"
Ca ac	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	20	#1	Cont.	18"
He GB	Hemerocallis 'Going Bananas'	Going Bananas Daylily	68	#1	Cont.	6-9"
Ne fa	Nepeta x lassenii 'Junior Walker'	Junior Walker Catmint	7	#1	Cont.	12"
Sp he	Sporobolus heterolepis	Prairie Dropseed	88	#1	Cont.	12-18"

NO.	DATE	REMARKS

NO.	DATE	REMARKS
1	1/23/20	REVISED PER VILLAGE COMMENTS

LANDSCAPE PLAN
7-ELEVEN
BARTLETT RD. AND LAKE ST.
Bartlett, IL 60103

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS



FILENAME:
10845.02LS

DATE:
09/30/19

JOB NO.
10845.02

SHEET
L1
OF



designstudio24 LLC

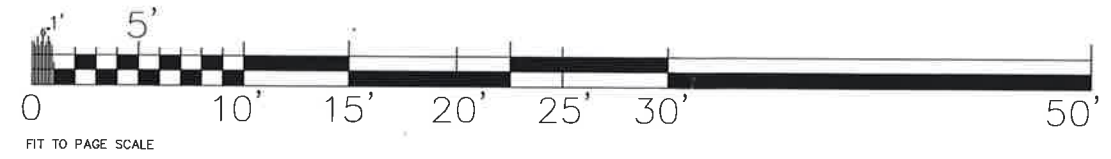
ARCHITECTS - DESIGNERS - PLANNERS



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT & LEFT EXTERIOR BUILDING ELEVATIONS

GW PROPERTIES: 7-ELEVEN, INC.
555 W. LAKE ST.
BARTLETT, IL 60103

DESIGN STUDIO 24, LLC
ARCHITECTS
2211 N. ELSTON AVE., CHICAGO, IL 60614
TEL: 647.895.5300
FAX: 647.895.7751

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STATEMENT OF COMPLIANCE
I have prepared, or caused to be prepared under my supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Codes and Ordinances of Schaumburg, Illinois.

STATEMENT OF COMPLIANCE
I have prepared, or caused to be prepared under my supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Environmental Barrier Act [Ill. Rev. Stat. 1985, ch. 113, § 1/2, para. 3(1)] and any amendments and the Illinois Accessibility Code, 21 C.F.R., App. Code 400.

DATE	DATE

REVISIONS	
DATE	ISSUE FOR-

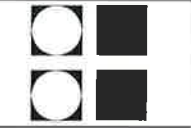
SCALE

DRAWN BY: PRATEEKSHA MEHTA

MARK T. DiGANCI
REG. ARCHITECT

LICENSE EXPIRES: 11.30.2020

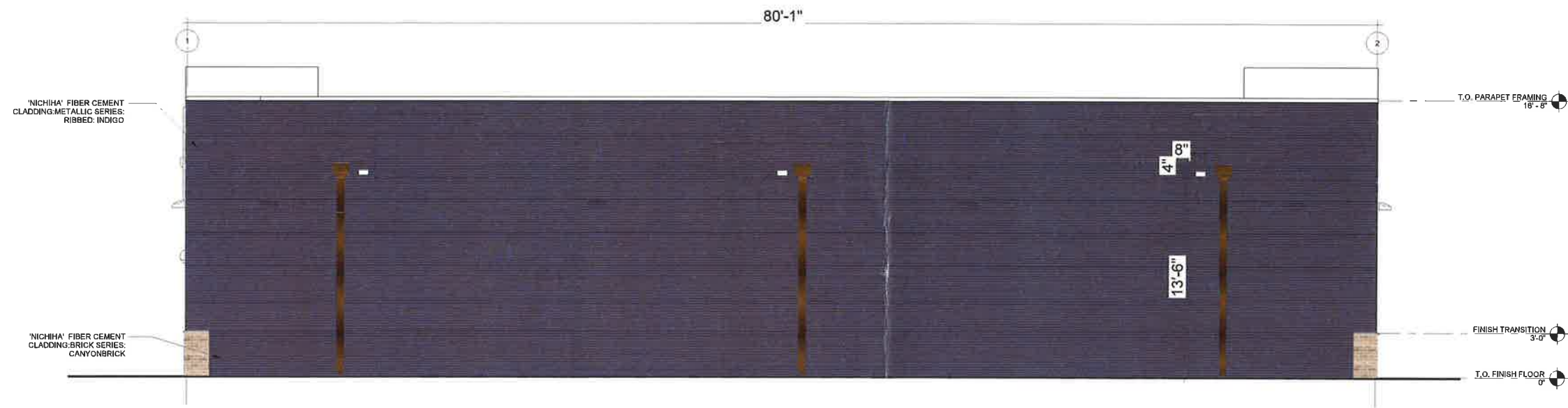
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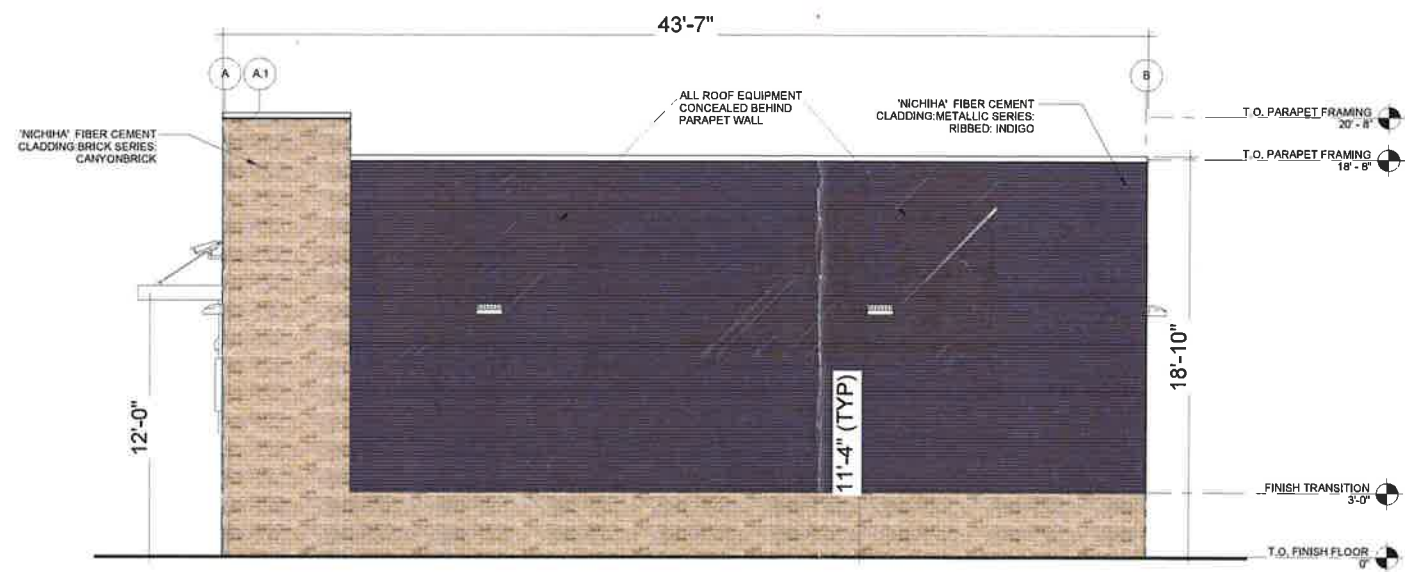
REAR & RIGHT EXTERIOR BUILDING ELEVATIONS

GW PROPERTIES: 7-ELEVEN, INC.
555 W. LAKE ST.
BARTLETT, IL 60103

DESIGN STUDIO 24 LLC
 ARCHITECTS
 2211 N. ELSTON AVE., CHICAGO, IL 60614
 TEL: 847.885.6300
 FAX: 847.885.6300



1 REAR ELEVATION
 SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

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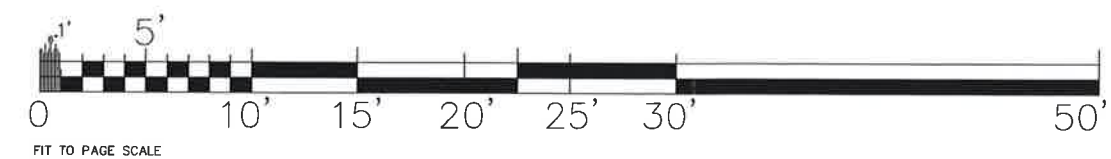
STATEMENT OF CONFORMANCE
 I have prepared, or caused to be prepared under my supervision, the attached plans and specifications and state that, to the best of my knowledge and belief and to the extent of my contractual obligation, they are in compliance with the Codes and Ordinances of Schaumburg, Illinois.

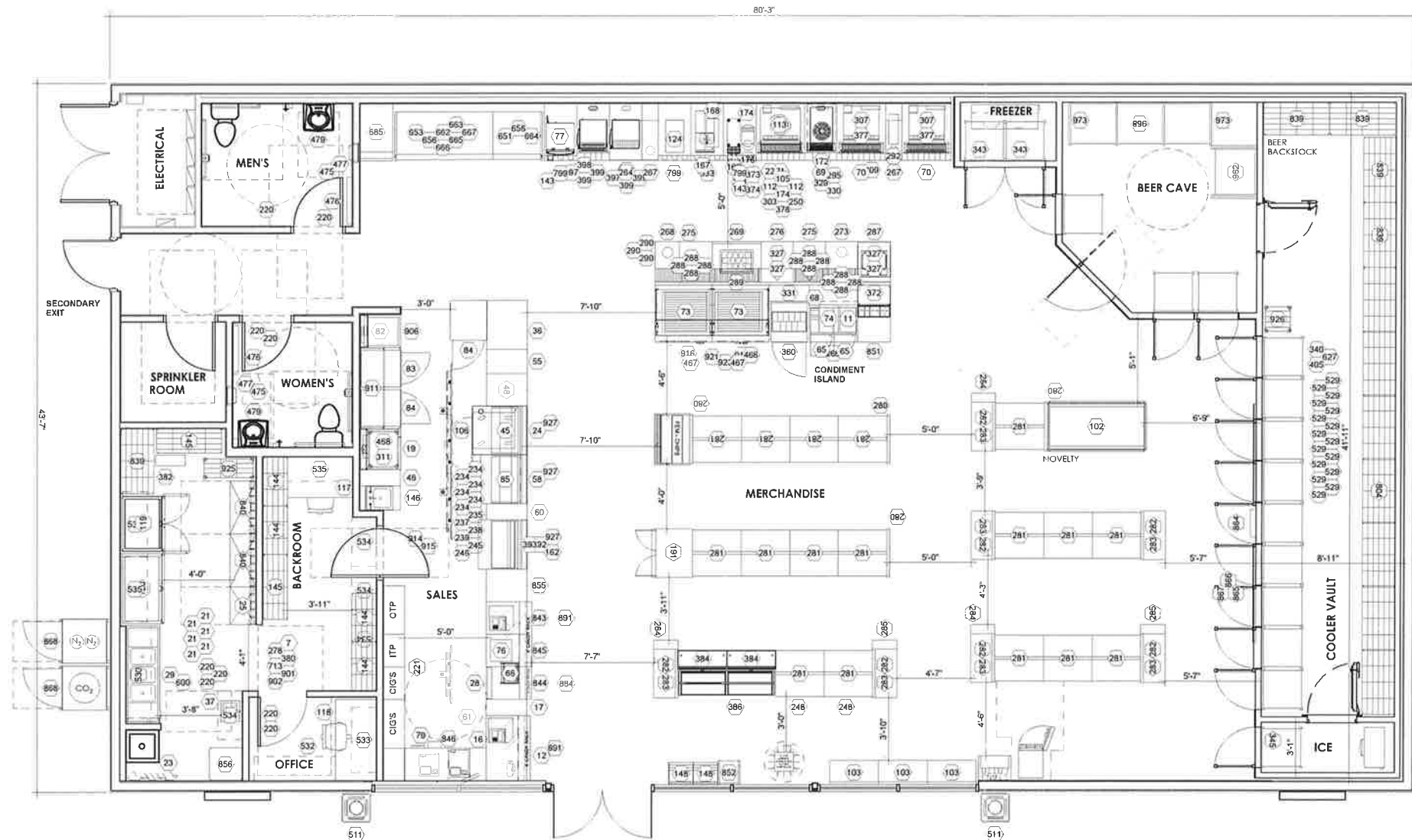
STATEMENT OF CONFORMANCE
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DATE	DATE
REVISIONS	
DATE	ISSUE FOR
SCALE	
DRAWN BY:	PRATEEKSHA MEHTA
MARK T. DIGANCI REG. ARCHITECT	



A3.1





LAYOUT INFORMATION

GENERAL

- ROLLER GRILLS 02
- SANDWICH CASE 9' OAC
- VAULT DOORS 12
- LOW TEMP DOORS 02
- ICE MERCH DOORS 01
- NOVELTY CASE 01
- BAKERY CASE 01
- SLURPEE BARRELS 08
- FUELING Y
- BEER Y
- WINE Y
- LIQUOR Y
- FOOD PROGRAM N

MERCHANDISE

- GONDOLA UNITS 38
- END CAPS 08
- LOW WALLS 03
- HIGH WALLS 00
- TOTAL 49
- POWER WINGS 05

BACKROOM

- OVERHEAD SHELVING 27
- FLOOR SHELVING 26

BUILDING

- TOTAL AREA 3,500 SQFT
- SALES FLOOR 291 SQFT = 02 PERSONS
- MERCHANDISE 1,898 SQFT = 32 PERSONS
- BACKROOM 302 SQFT = 02 PERSONS
- OFFICE 39 SQFT = 01 PERSONS
- RESTROOM 114 SQFT = 00 PERSONS
- STORAGE 50 SQFT = 01 PERSONS
- OCCUPANCY LOAD 31 PERSONS

- TRAVEL DISTANCE (<125') 103'
- COMMON PATH (<75') 61'
- RESTROOMS REQ'D 01
- EXITS REQ'D 02
- DRINKING FOUNTAINS N

DEVIATIONS

- BEER CAVE

WALL TYPES

- ===== NEW INTERIOR WALL CONSTRUCTION
- ===== COOLER VAULT WALL
- ===== NEW EXTERIOR WALL (NICHIHA & SIPS)

1045734 BARTLETT, IL - GROUND UP

- APPROVED 10.08.2019
- NOT APPROVED



Rev. #	Date	Description
PROTO 2019.01.02.28		

7-ELEVEN, INC.
 3200 HACKBERRY ROAD, IRVING, TEXAS 75063
 7-11 #1045734
 55 W. LAKE
 BARTLETT, IL 60153



Job #:	SEI27442
Scale:	1/4" = 1'-0"
Date:	10.08.2019
Drawn By:	J.TOOKE
Checked By:	C. POPOVICH

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DISCLAIMER
 THIS FLOOR PLAN HAS BEEN PREPARED WITH THE ASSUMPTION THAT ALL REFRIGERATED EQUIPMENT IS REMOTE-COOLED PER 7-ELEVEN PROTO. THE ADR "ARCHITECT OF RECORD" / EOR "ENGINEER OF RECORD" IS RESPONSIBLE FOR NOTIFYING THE CONCEPT PLAN COMPANY (CORE STATES GROUP) IF REFRIGERATION DESIGN WILL BE NON-TYPICAL SO THAT FLOOR PLAN MAY BE REVISED ACCORDINGLY.



Deigan & Associates, LLC
Environmental Consultants

Our 22nd Year of Client Service! ~ 1998 to 2020

28835 N Herky Dr. Unit 120

Lake Bluff, Illinois 60044

Phone 847.578.5000

Fax 847.549.3242

www.deiganassociates.com

February 20, 2020

Ms. Roberta Grill, AICP
Community Development Director
Village of Bartlett
228 South Main Street
Bartlett, Illinois 60103

Re: Proposed 7-Eleven Store Plans—Final/Amended Environmental Review
555 Lake Street, Bartlett, IL (former BP Service Station #15875)

Dear Ms. Grill:

Following the meeting on February 14, 2020 with GW Properties, Deigan & Associates, LLC has reviewed the plans for the proposed 7-Eleven prepared by Spaceco Inc. and compared them to additional site investigations completed by GW Properties Environmental Consultant (Pioneer Engineering & Environmental Sciences, LLC) completed on 8/30/19, 9/24/19, and 11/13/19. Due to the presence of residual petroleum contamination being safely left in place at the property in soil and groundwater by prior owners, additional considerations are necessary for successful, safe site redevelopment. The proposed conditions below have been amended from our January 23rd, 2020 letter and are protective of human health and the environment. Additionally, they will ensure the planned development adheres to conditions in a forthcoming IEPA NFR letter.

Final Proposed Conditions to Address Environmental Concerns and Achieve a Successful Site Redevelopment

Environmental Conditions/Concerns	Proposed Final Developer Action/Conditions
1. Petroleum-contaminated soil was left in place at the site.	Contaminated soil excavated for foundations, storm sewer, and tank pits shall be disposed of at a licensed Subtitle D landfill, and not re-used on-site.

Environmental Conditions/Concerns	Proposed Final Developer Action/Conditions
2. Petroleum contaminated groundwater exists at the site.	<p>Proper groundwater disposal is required when encountered during excavation for foundations, storm sewer, and tank pits. GW shall be pumped into a tanker truck for disposal at a licensed, industrial wastewater treatment plant.</p> <p>Long-term contaminated groundwater migration throughout the site and potentially off-site, via manmade trenches, should be prevented using clay backfill plugs. See Figure 1.</p>
3. Vapor Intrusion into man-made sub-surface conduits.	Vapor migration throughout the site, via manmade trenches, should be prevented using clay backfill plugs. See Figure 1.
4. Contractor/Worker Safety	A contractor Health and Safety Plan (HASP) shall be developed to protect construction workers from subsurface petroleum compounds.
5. Monitoring Well Abandonment	All existing monitoring wells on-site will be abandoned pursuant to applicable regulations and standard industry practices prior to site redevelopment.
6. Removal of all existing USTs and related piping/pump dispensers	<p>Additional sampling will be required at the time of tank removal. A decision of whether a “new” release has occurred will be determined by GW’s environmental consultant and the Office of the State Fire Marshal (OSFM) inspector.</p> <p>Based on the results of the post tank removal sampling and the decision of the OSFM inspector, additional Actions/Conditions may be necessary to ensure successful and safe site redevelopment.</p>

Please contact me for discussion or comments on this memorandum. These proposed measures are not costly and will ensure proper development on a petroleum-impacted site. These measures have been feasibly implemented at other Bartlett former service station redevelopment sites. We recommend environmental inspection at various intervals during construction.

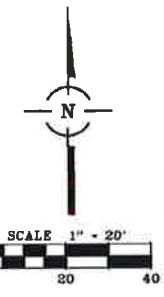
Sincerely,

Deigan & Associates, LLC



Gary J. Deigan
Principal

Figure 1

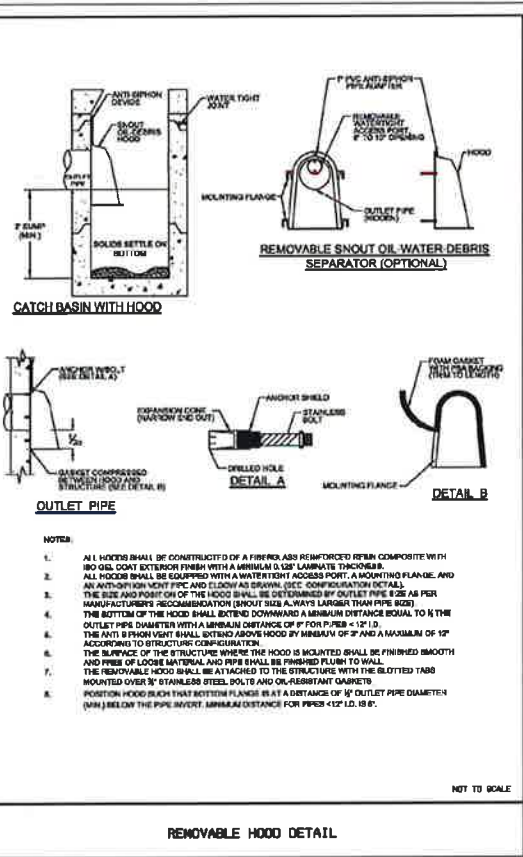
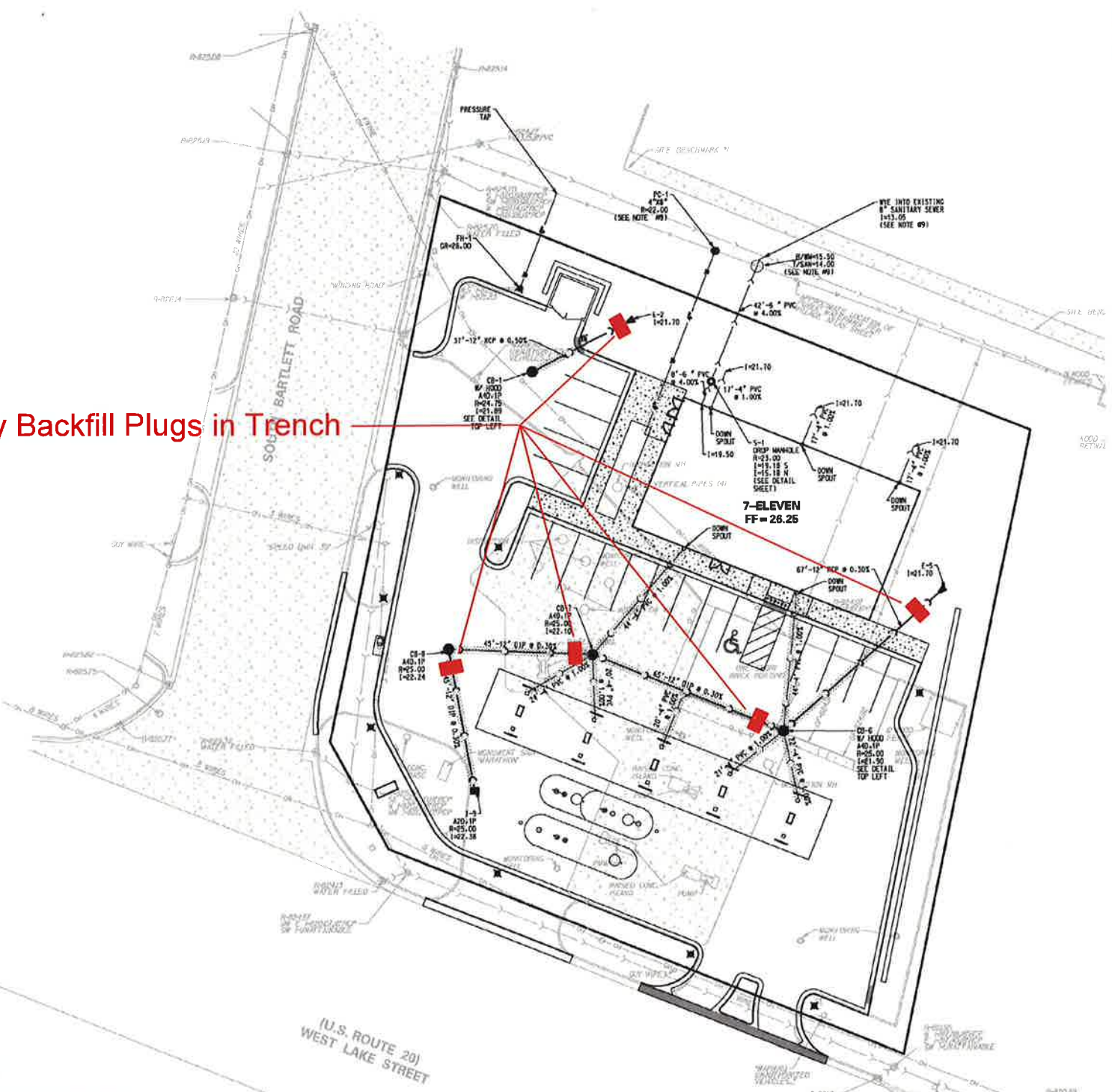


- LEGEND:**
- 4" WATER SERVICE
 - STORM SEWER
 - 4" PVC DOWNSPOUT CONNECTION @ 1.00% (MIN.)
 - 4" PVC PERFORATED UNDERDRAIN WITH FILTER SOCK @ 0.00% (SEE DETAIL BELOW)
 - SANITARY SERVICE
 - ▶ FLARED END SECTION
 - CATCH BASIN
 - STORM MANHOLE
 - INLETS
 - SANITARY DROP MANHOLE
 - UTILITY CROSSING
 - PRESSURE CONNECTION
 - DOWNSPOUT LOCATION
 - UNDERDRAIN CLEAN OUT
 - FIRE HYDRANT
 - ✱ PROPOSED LIGHT POLE LOCATION. SEE LIGHTING PLAN BY OTHERS.

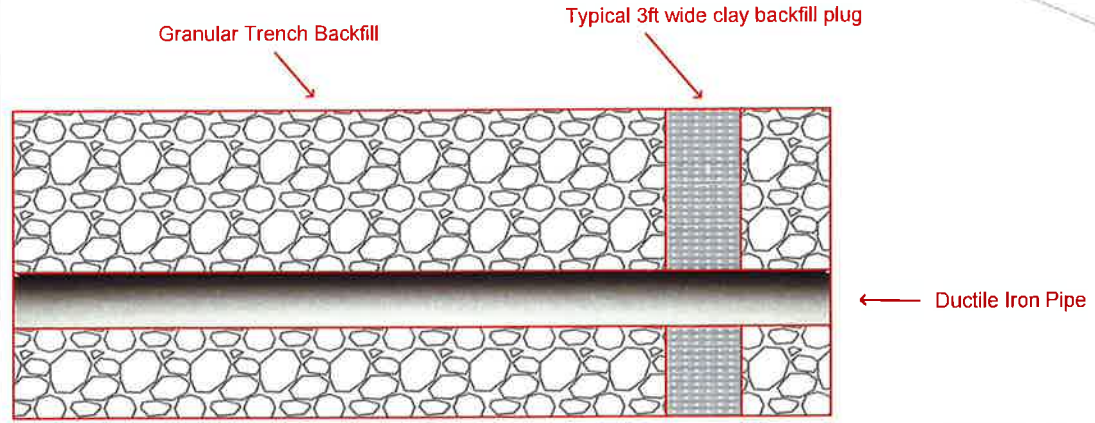
- STORM STRUCTURE LEGEND**
- STRUCTURE ABBREVIATION
 - STRUCTURE NUMBER
 - M-100 AND 10" FRAME AND LID TYPE
 - DIAMETER & SIZE OF STRUCTURE
 - TYPE OF STRUCTURE
- STRUCTURE ABBREVIATIONS**
- I = INLET
 - CB = CATCH BASIN
 - E = FLARED END SECTION
 - S = SANITARY MANHOLE
 - PC = PRESSURE CONNECTION
 - FH = FIRE HYDRANT

- NOTES:**
1. ALL STORM SEWERS SHALL BE RCP CL-IV OR DIP UNLESS NOTED OTHERWISE.
 2. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
 3. ALL WATER MAINS SHALL BE D.I.P. - CLASS 52 UNLESS NOTED OTHERWISE. MEGALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
 4. ✱ INDICATES TRENCH BACKFILL REQUIRED.
 5. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
 6. FRENCH DRAIN: ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR 1" DIAMETER WEEP HOLES PROVIDED 24" BELOW THE TOP OF LID. THE HOLES SHALL BE COVERED WITH A GEOTEXTILE FILTER FABRIC CEMENTED IN PLACE WITH BITUMINOUS MASTIC. THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL.
 7. DESIGN OF WIRING AND CIRCUITRY OF LIGHTING WILL BE BY OTHERS.
 8. ALL RESTRAINED WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.
 9. UNDERGROUND CONTRACTOR TO FIELD VERIFY EXISTING SEWER MAIN AND WATER MAIN LOCATIONS AND DEPTHS PRIOR TO PROPOSED SEWER AND WATER MAIN CONSTRUCTION. NOTIFY SPACECO, INC. OF ANY DISCREPANCIES.
 10. POTABLE AND FIRE SERVICE FLOWS MUST BE SPLIT INSIDE THE METER ROOM AND A RPZ DEVICE PLACED ON THE FIRE SERVICE WITHIN 24 INCHES (2.0 FT.) OF THE SPLIT. THE POTABLE LINE MUST HAVE A VALVE ON BOTH SIDES OF THE METER, WITH THE UPSTREAM VALVE SERVING AS THE SHUT-OFF VALVE FOR THE VILLAGE. BARTLETT WATER DEPARTMENT STAFF MUST BE ABLE TO ACCESS THE METER ROOM AND VALVES AT ALL TIMES. ALL ADDITIONAL HYDRANTS NEEDED FOR FIRE PROTECTION MUST BE CONNECTED TO THE MAIN SEPARATELY.
 11. CB-1 AND CB-6 SHALL HAVE REMOVABLE HOODS INSTALLED OVER THE STRUCTURE OUTLET PIPE. SEE DETAIL LOCATED AT THE TOP LEFT OF THIS SHEET.

Clay Backfill Plugs in Trench



Typical Clay Backfill Plug Cross Section



Base Map by Spaceco Inc.
Red Notes by Deigan & Associates, LLC

NO.	DATE	REMARKS
1	01/24/20	PER VILLAGE OF BARTLETT
NO.	DATE	REMARKS
UTILITY PLAN		
7-ELEVEN		
BARTLETT RD. AND LAKE ST.		
Bartlett, IL 60103		
<p>CONSULTING ENGINEERS</p> <p>SHIELD/DEMPSEY ENGINEERS</p> <p>LAND SURVEYORS</p> <p>227 1/2 N. Liberty Street, Mare, Illinois 60450 Phone: (815) 941-0260 Fax: (815) 941-0253</p>		
<p>SPACECO INC.</p>		
FILENAME: 10645.02_UT		
DATE: 09/30/19		
JOB NO. 10645.02		
SHEET		
UT		
7 OF 12		